

AN A.L.T.A./N.S.P.S. LAND TITLE SURVEY

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

	SECTION LINE
	MONUMENT LINE
	PROPERTY LINE
	OTHERS PROPERTY
	EXISTING EASEMENT
	CHAIN LINK FENCE
	BLOCK WALL
CONCRETE	
	BRASS CAP IN HANDHOLE
	DOWN GUY WIRE
	ELECTRICAL MANHOLE
	ELECTRIC METER
	FIRE DEPARTMENT CONNECTION
	REBAR PIN (AS NOTED)
	GAS VALVE
	GATE
	WATER VALVE
	LIGHT POLE
	MAILBOX
	MANHOLE
	CONCRETE NAIL (AS NOTED)
	STREET SIGN
	SEWER MANHOLE
	JUNCTION BOX
	UTILITY POLE
	WATER METER
	MARICOPA COUNTY RECORDER
	MEASURED BEARINGS/DISTANCES
	RECORDED BEARINGS/DISTANCES

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	6.00'	S00°49'59"E
L2	26.00'	S89°10'01"W
L3	8.49'	N45°49'59"W
L4	29.00'	S89°10'01"W

Monument Table

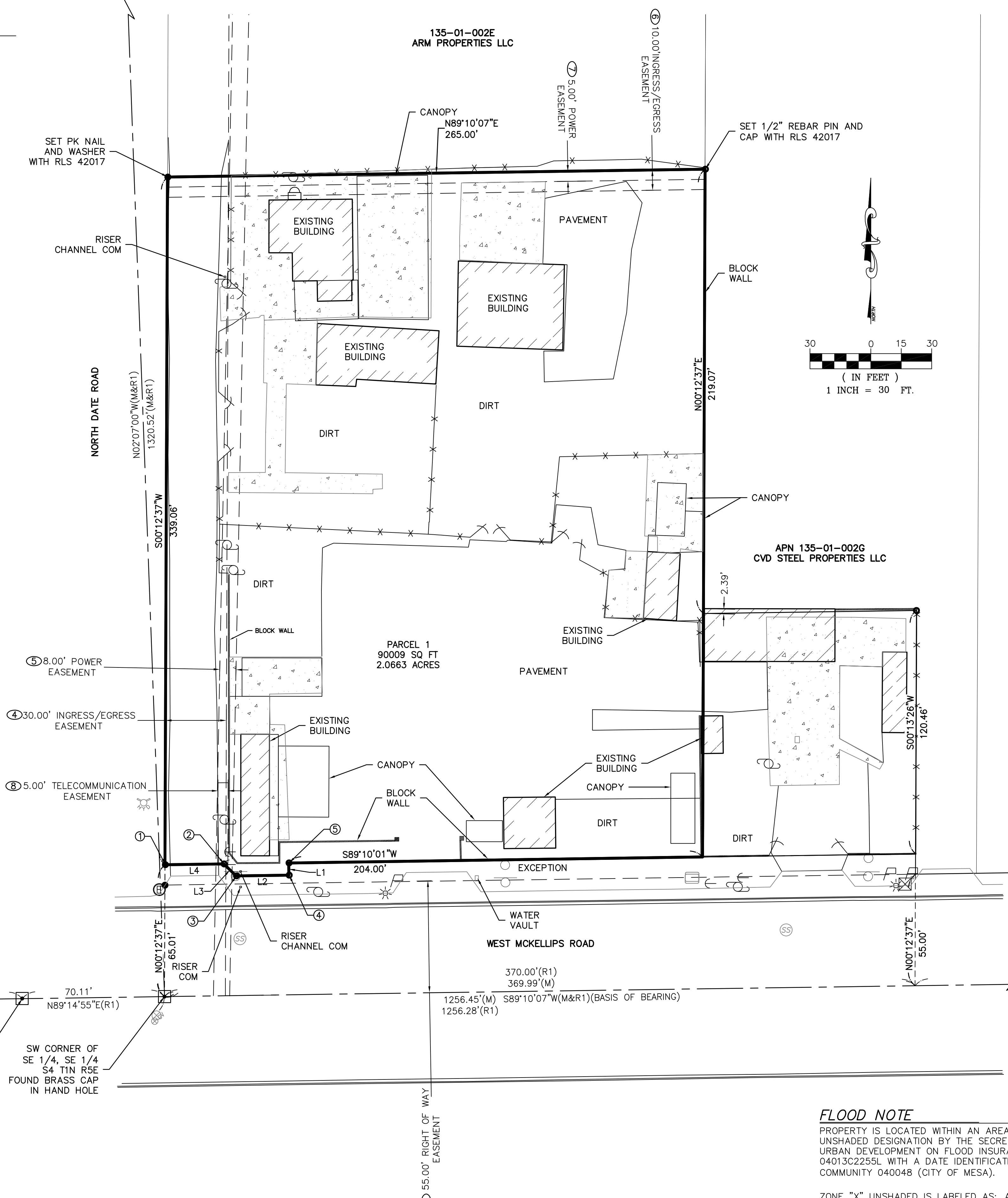
Monument #	Description
①	SET PK NAIL AND WASHER WITH RLS 42017
②	SET 1/2" REBAR PIN AND CAP WITH RLS 42017
③	SET 1/2" REBAR PIN AND CAP WITH RLS 42017
④	SET 1/2" REBAR PIN AND CAP WITH RLS 42017
⑤	SET 1/2" REBAR PIN AND CAP WITH RLS 42017

SOUTH 1/4 CORNER
S4 TIN R5E
NO MONUMENT FOUND

FOUND BRASS CAP
IN HAND HOLE ON
MONUMENT LINE OF
W MCKELLIPS ROAD AT
POINT OF CURVATURE

SW CORNER OF
SE 1/4, SE 1/4
S4 TIN R5E
FOUND BRASS CAP
IN HAND HOLE

NW CORNER OF
SE 1/4, SE 1/4
S4 TIN R5E
NO MONUMENT FOUND



SCHEDULE B NOTES

THIS SURVEY IS BASED UPON THE "COMMITMENT FOR TITLE INSURANCE" PREPARED BY CLEAR TITLE AGENCY OF ARIZONA, LLC, ORDER NO. 70-533843 AND EFFECTIVE JUNE 06, 2018 AT 7:30 AM.

- TAXES FOR THE FULL YEAR OF 2018. (THE FIRST HALF IS DUE OCTOBER 1, 2018 AND IS DELINQUENT NOVEMBER 1, 2018. THE SECOND HALF IS DUE MARCH 1, 2019 AND IS DELINQUENT MAY 1, 2019.) (NOT PLOTTABLE)
- THE LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY REASON OF: (A) INCLUSION THEREOF WITHIN THE BOUNDARIES OF THE SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT; (B) MEMBERSHIP OF THE OWNER THEREOF IN THE SALT RIVER VALLEY WATER USERS' ASSOCIATION, AN ARIZONA CORPORATION AND (C) THE TERMS OF ANY WATER RIGHT APPLICATION MADE UNDER THE RECLAMATION LAWS OF THE UNITED STATES FOR THE PURPOSE OF OBTAINING WATER RIGHTS FOR SAID LAND. (ALL ASSESSMENTS DUE AND PAYABLE ARE PAID.) (NOT PLOTTABLE)
- RESERVATIONS OR EXCEPTIONS IN PATENTS, OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF. (NOT PLOTTABLE)
- AN EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 4885, PAGE 478 AND IN DOCKET 7051, PAGE 397. (AS PLOTTED)
- AN EASEMENT FOR ELECTRIC LINES AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 4908, PAGE 42. (AS PLOTTED)
- AN EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 6634, PAGE 162. (AS PLOTTED)
- AN EASEMENT FOR OVERHEAD AND UNDERGROUND POWER AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 8700, PAGE 49. (AS PLOTTED)
- AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES AND INCIDENTAL PURPOSES, RECORDED AS 91-267648 OF OFFICIAL RECORDS. (AS PLOTTED)
- THE RIGHTS OF PARTIES IN POSSESSION BY REASON OF ANY UNRECORDED LEASE OR LEASES OR MONTH TO MONTH TENANCIES AFFECTING ANY PORTION OF THE WITHIN DESCRIBED PROPERTY. NOTE: THIS MATTER WILL BE MORE FULLY SET FORTH OR DELETED UPON COMPLIANCE WITH THE APPLICABLE REQUIREMENT(S) SET FORTH HEREIN. (NOT PLOTTABLE)
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT PLOTTABLE)

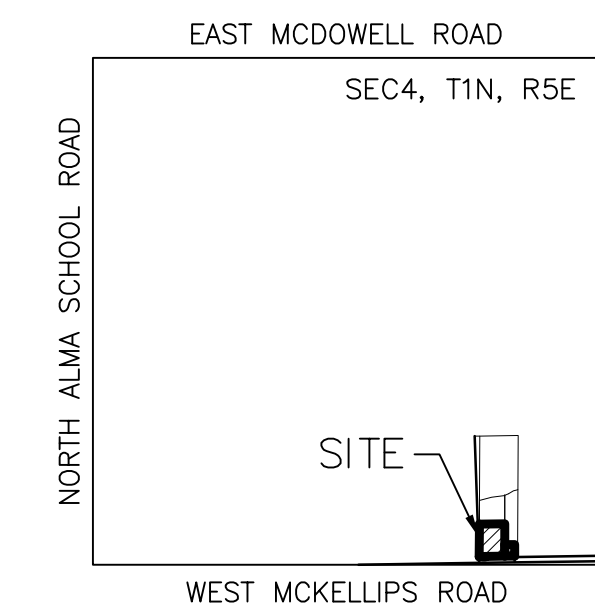
LEGAL DESCRIPTION

THE SOUTH 404 FEET OF THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 4; RUNNING THENCE NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER A DISTANCE OF 265.0 FEET; THENCE NORTH 0 DEGREES 13 MINUTES 40 SECONDS EAST, 699.5 FEET TO THE CENTER LINE OF SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL; THENCE SOUTHWESTERLY, ALONG CENTER LINE OF LATERAL, 272.0 FEET, MORE OR LESS, TO A POINT 27.19 FEET EAST OF THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 0 DEGREES 13 MINUTES 40 SECONDS WEST 650.60 FEET TO THE POINT OF BEGINNING; EXCEPT ANY PORTION THEREOF LYING WITHIN THE RIGHT-OF-WAY OF THE SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL; EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4, FOR A DISTANCE OF 55.01 FEET, TO A POINT ON THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 10.00 FEET, TO A POINT ON THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD; THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, ALONG THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 29.00 FEET; THENCE SOUTH 45 DEGREES 48 MINUTES 56 SECONDS EAST, FOR A DISTANCE OF 8.49 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, FOR A DISTANCE OF 26.00 FEET; THENCE NORTH 00 DEGREES 48 MINUTES 56 SECONDS WEST, FOR A DISTANCE OF 6.00 FEET, TO A POINT ON THE NEW 65 FOOT RIGHT OF WAY LINE; THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, ALONG THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 309.00 FEET; THENCE SOUTH 00 DEGREES 13 MINUTES 40 SECONDS WEST, FOR A DISTANCE OF 10.00 FEET, TO A POINT ON THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD; THENCE SOUTH 89 DEGREES 11 MINUTES 04 SECONDS WEST, ALONG THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 370.00 FEET, TO THE POINT OF BEGINNING.

FLOOD NOTE

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE "X" UNSHADED DESIGNATION BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT ON FLOOD INSURANCE RATE MAP NO. 04013C2255L WITH A DATE IDENTIFICATION OF OCTOBER 16, 2013, COMMUNITY 040048 (CITY OF MESA).

ZONE "X" UNSHADED IS LABELED AS: AN AREA THAT IS DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.



VICINITY MAP

SCALE: 1" = 2000'

TABLE A NOTES

- 9-PARKING
 - 4 REGULAR SPACES
 - 1 HANDICAP SPACES

11-NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

16-NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

OWNER INFORMATION

KIRBY A AND ANN J MARTIN
550 W MCKELLIPS RD
MESA AZ 85201

REFERENCE DOCUMENTS

(R1) - AN ALTA SURVEY BOOK 699 OF MAPS PAGE 20, MCR

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING S89°10'07"W. (ASSUMED BEARING)

SURVEYOR NOTES

- FIELDWORK WAS COMPLETED IN THE MONTH OF SEPTEMBER, 2018.
- ALL BEARINGS AND DISTANCES ARE MEASURED UNLESS OTHERWISE NOTED.
- THIS SURVEYOR HAS MADE NO INDEPENDENT SEARCH FOR TAXES, ASSESSMENTS, RESERVATIONS IN PATENT, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, LIENS, COVENANTS, CONDITIONS OF RESTRICTIONS OR ANY OTHER RECORD INFORMATION THAT MAY BE DISCLOSED BY A CURRENT TITLE REPORT OR OTHER RESEARCH.

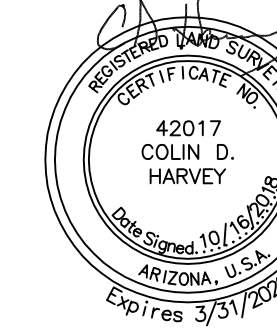
SURVEYOR CERTIFICATE

TO CLEAR TITLE AGENCY OF ARIZONA, LLC, SEVEN C'S INVESTMENTS LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AND KIRBY A MARTIN AND ANN J MARTIN, HUSBAND AND WIFE, AS COMMUNITY PROPERTY WITH THE RIGHT OF SURVIVORSHIP:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B, 8, 11, 13, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 20, 2018.

DATE OF PLAT OR MAP: 10/4/2018

CD Harvey
COLIN D. HARVEY
ARIZONA R.L.S. 42017



HARVEY LAND SURVEYING, INC. P.O. BOX 10772 CASA GRANDE, AZ 85130 PHONE: (520) 876-4786 E-MAIL: COLEHARVEY@HARVEYSURVEYING.COM		DRAWN BY: JH	CHECKED BY: CDH
AN A.L.T.A./N.S.P.S. LAND TITLE SURVEY		SCALE: 1" = 40'	DATE: 10/16/2018
		JOB NUMBER	SHEET
		2018-72	1 OF 4

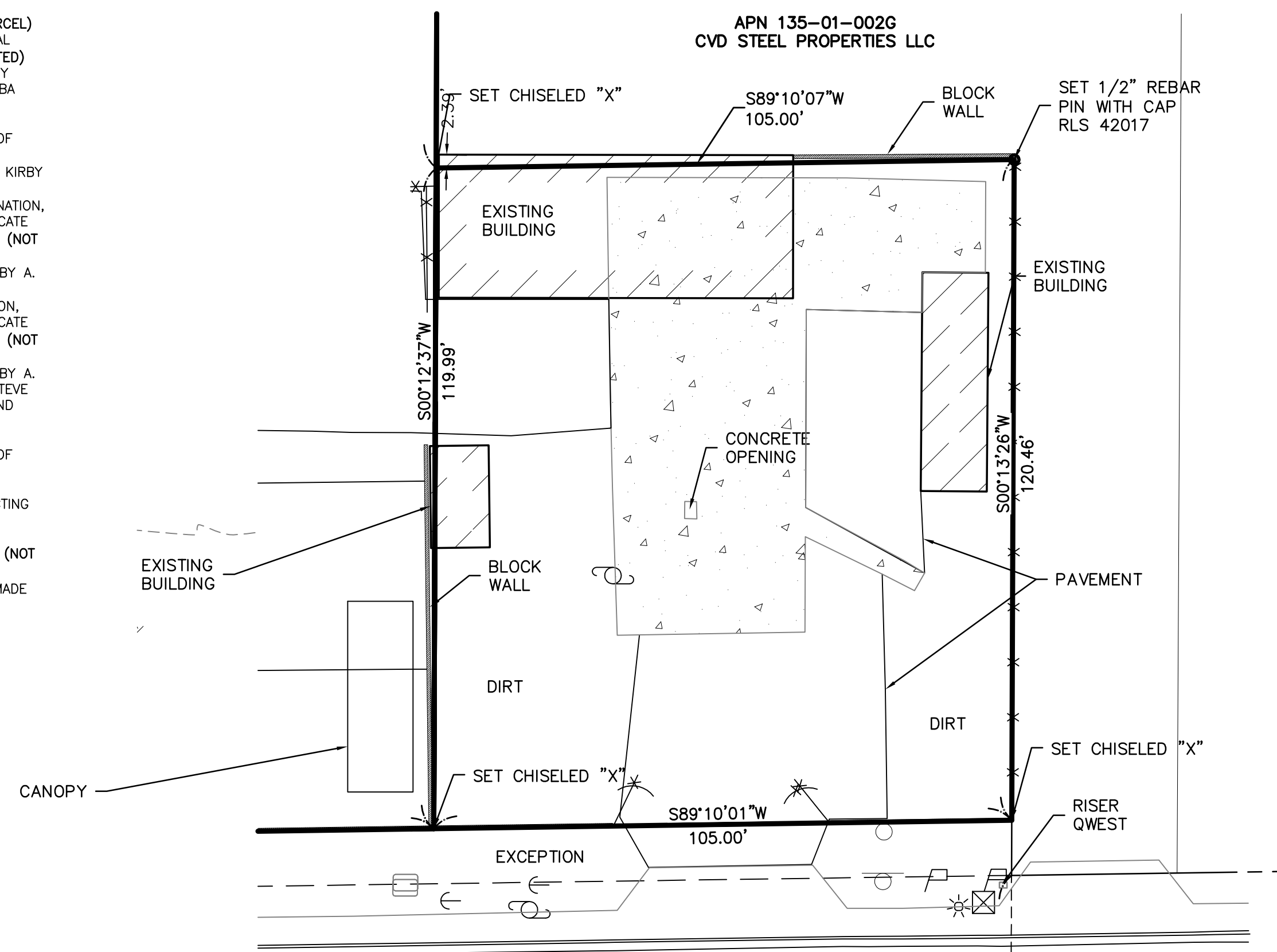
AN A.L.T.A./N.S.P.S. LAND TITLE SURVEY

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

SCHEDULE B NOTES

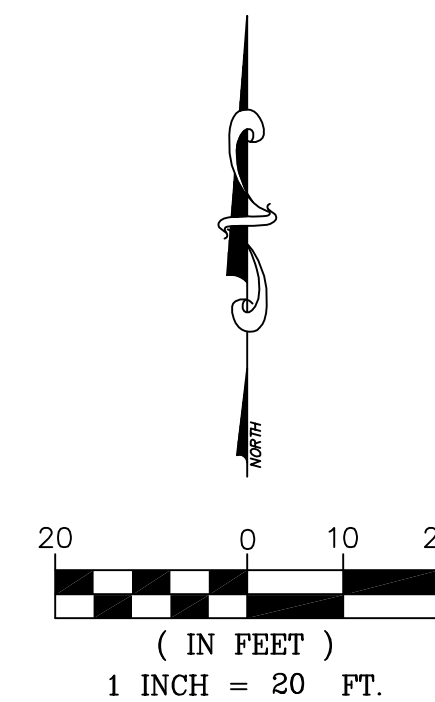
THIS SURVEY IS BASED UPON THE "COMMITMENT FOR TITLE INSURANCE"
 PREPARED BY CLEAR TITLE AGENCY OF ARIZONA, LLC,
 ORDER NO. 70-534902 AND
 EFFECTIVE AUGUST 21, 2018 AT 7:30 AM.

1. RESERVATIONS OR EXCEPTIONS IN PATENTS, OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF. (NOT PLOTTABLE)
2. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT PLOTTABLE)
3. TAXES FOR THE FULL YEAR OF 2018.
(THE FIRST HALF IS DUE OCTOBER 1, 2018 AND IS DELINQUENT NOVEMBER 1, 2018. THE SECOND HALF IS DUE MARCH 1, 2019 AND IS DELINQUENT MAY 1, 2019.) (NOT PLOTTABLE)
4. THE LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY REASON OF: (A) INCLUSION THEREOF WITHIN THE BOUNDARIES OF THE SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT; (B) MEMBERSHIP OF THE OWNER THEREOF IN THE SALT RIVER VALLEY WATER USERS' ASSOCIATION, AN ARIZONA CORPORATION AND (C) THE TERMS OF ANY WATER RIGHT APPLICATION MADE UNDER THE RECLAMATION LAWS OF THE UNITED STATES FOR THE PURPOSE OF OBTAINING WATER RIGHTS FOR SAID LAND. (ALL ASSESSMENTS DUE AND PAYABLE ARE PAID.) (NOT PLOTTABLE)
5. AN EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 8556, PAGE 23 (DOES NOT AFFECT SUBJECT PARCEL)
6. AN EASEMENT FOR ELECTRIC LINES AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 8700, PAGE 49 (DOES NOT AFFECT SUBJECT PARCEL)
7. AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES AND INCIDENTAL PURPOSES, RECORDED AS 91-267648 OF OFFICIAL RECORDS. (AS PLOTTED)
8. AN UNRECORDED LEASE DATED NOVEMBER 30, 2007, EXECUTED BY KIRBY A. MARTIN AND ANN J. MARTIN AS LESSOR AND RAY BANUELOS DBA ALPRIDE MARBLE & GRANITE AS LESSEE, AS DISCLOSED BY A(N) SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT AND ESTOPPEL CERTIFICATE RECORDED AUGUST 1, 2008 AS 2008-0675196 OF OFFICIAL RECORDS. (DOES NOT AFFECT SUBJECT PARCEL)
9. AN UNRECORDED LEASE DATED FEBRUARY 1, 2008, EXECUTED BY KIRBY A. MARTIN AND ANN J. MARTIN AS LESSOR AND KEVIN SCHWEITZER DBA AMANDAS TRANSPORTATION AS LESSEE, AS DISCLOSED BY A(N) SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT AND ESTOPPEL CERTIFICATE RECORDED AUGUST 1, 2008 AS 2008-0675197 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
10. AN UNRECORDED LEASE DATED JULY 21, 2008, EXECUTED BY KIRBY A. MARTIN AND ANN J. MARTIN AS LESSOR AND CARPORTS, ETC CORP, AN ARIZONA CORPORATION AS LESSEE, AS DISCLOSED BY A(N) SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT AND ESTOPPEL CERTIFICATE RECORDED AUGUST 1, 2008 AS 2008-0675198 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
11. AN UNRECORDED LEASE DATED JULY 21, 2008, EXECUTED BY KIRBY A. MARTIN AND ANN J. MARTIN AS LESSOR AND CLARENCE R. DAVID DBA STEVE AND TONY'S TIRE SALES AND REPAIR AND TRUDY S. DAVID DBA STEVE AND TONY'S TIRE SALES AND REPAIR AS LESSEE, AS DISCLOSED BY A(N) SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT AND ESTOPPEL CERTIFICATE RECORDED AUGUST 6, 2008 AS 2008-0684086 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
12. THE RIGHTS OF PARTIES IN POSSESSION BY REASON OF ANY UNRECORDED LEASE OR LEASES OR MONTH TO MONTH TENANCIES AFFECTING ANY PORTION OF THE WITHIN DESCRIBED PROPERTY.
NOTE: THIS MATTER WILL BE MORE FULLY SET FORTH OR DELETED UPON COMPLIANCE WITH THE APPLICABLE REQUIREMENT(S) SET FORTH HEREIN. (NOT PLOTTABLE)
13. THE FOLLOWING MATTERS DISCLOSED BY AN ALTA/NSPS SURVEY MADE BY ____ ON ____, DESIGNATED JOB NO. ____: (NOT PLOTTABLE)
NOTE: THIS MATTER WILL BE MORE FULLY SET FORTH OR DELETED UPON COMPLIANCE WITH THE APPLICABLE REQUIREMENT SET FORTH HEREIN.



LEGEND

- | | |
|--|-----------------------------|
| | SECTION LINE |
| | MONUMENT LINE |
| | PROPERTY LINE |
| | OTHERS PROPERTY |
| | EXISTING EASEMENT |
| | CHAIN LINK FENCE |
| | BLOCK WALL |
| | CONCRETE |
| | BRASS CAP IN HANDHOLE |
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| | LIGHT POLE |
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| | MARICOPA COUNTY RECORDER |
| | MEASURED BEARINGS/DISTANCES |
| | RECORDED BEARINGS/DISTANCES |



DEED LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

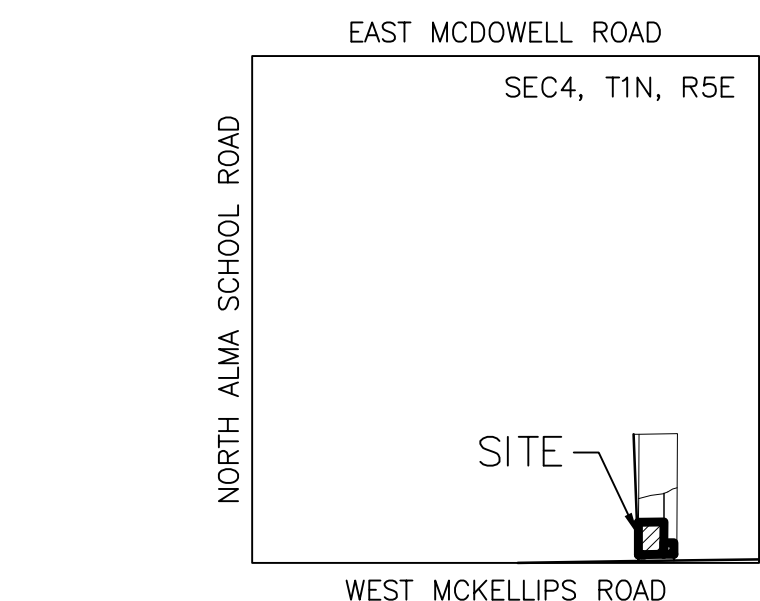
- BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4;
- THENCE NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 265 FEET TO THE TRUE POINT OF BEGINNING;
- THENCE CONTINUING NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST, 105 FEET;
- THENCE NORTH 0 DEGREES 13 MINUTES 40 SECONDS EAST, 185 FEET;
- THENCE SOUTH 89 DEGREES 11 MINUTES 10 SECONDS WEST, 105 FEET;
- THENCE SOUTH 0 DEGREES 13 MINUTES 40 SECONDS WEST, 185 FEET TO THE TRUE POINT OF BEGINNING;

TITLE REPORT LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

- BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4;
- THENCE NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4, FOR A DISTANCE OF 55.0 FEET, TO A POINT ON THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING;
- THENCE CONTINUING NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 10.00 FEET, TO A POINT ON THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD;
- THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, ALONG THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 29.00 FEET;
- THENCE SOUTH 45 DEGREES 48 MINUTES 56 SECONDS EAST, FOR A DISTANCE OF 8.49 FEET;
- THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, FOR A DISTANCE OF 26.00 FEET;
- THENCE NORTH 00 DEGREES 48 MINUTES 56 SECONDS WEST, FOR A DISTANCE OF 6.00 FEET, TO A POINT ON THE NEW 65 FOOT RIGHT OF WAY LINE;
- THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, ALONG THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 309.00 FEET;
- THENCE SOUTH 00 DEGREES 13 MINUTES 40 SECONDS WEST, FOR A DISTANCE OF 10.00 FEET, TO A POINT ON THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD;
- THENCE SOUTH 89 DEGREES 11 MINUTES 04 SECONDS WEST, ALONG THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 370.00 FEET, TO THE POINT OF BEGINNING.
- EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS:
- THE SOUTH 404 FEET OF THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

- BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; RUNNING THENCE NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 265.0 FEET;
- THENCE NORTH 0 DEGREES 13 MINUTES 40 SECONDS EAST, 699.5 FEET TO THE CENTER LINE OF SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL;
- THENCE SOUTHWESTERLY, ALONG CENTER LINE OF LATERAL, 272.0 FEET, MORE OR LESS, TO A POINT 27.19 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;
- THENCE SOUTH 0 DEGREES 13 MINUTES 40 SECONDS WEST 650.60 FEET TO THE POINT OF BEGINNING;
- EXCEPT ANY PORTION THEREOF LYING WITHIN THE RIGHT-OF-WAY OF THE SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL.



VICINITY MAP

SCALE: 1" = 2000'

TABLE A NOTES

11-NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

16-NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

OWNER INFORMATION

KIRBY A AND ANN J MARTIN
 550 W MCKELLIPS RD
 MESA AZ 85201

REFERENCE DOCUMENTS

(R1) - AN ALTA SURVEY BOOK 699 OF MAPS PAGE 20, MCR

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING S89°10'07"W. (ASSUMED BEARING)

SURVEYOR NOTES

- 1-FIELDWORK WAS COMPLETED IN THE MONTH OF SEPTEMBER, 2018.
- 2-ALL BEARINGS AND DISTANCES ARE MEASURED UNLESS OTHERWISE NOTED.
- 3-THIS SURVEYOR HAS MADE NO INDEPENDENT SEARCH FOR TAXES, ASSESSMENTS, RESERVATIONS IN PATENT, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, LIENS, COVENANTS, CONDITIONS OF RESTRICTIONS OR ANY OTHER RECORD INFORMATION THAT MAY BE DISCLOSED BY A CURRENT TITLE REPORT OR OTHER RESEARCH.
- 4-THE LEGAL DESCRIPTION AND SCHEDULE B ITEMS PROVIDED IN THE TITLE REPORT DOES NOT APPEAR TO BE THE PROPER INFORMATION FOR THE SUBJECT PARCEL ALSO, THE TITLE REPORT LEGAL DESCRIPTION DOES NOT MATCH THE ONE THAT IS PRESENTLY ON THE DEED. WE HAVE PROVIDED BOTH LEGAL DESCRIPTIONS ON THIS SURVEY.

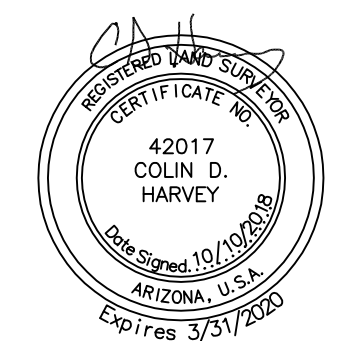
SURVEYOR CERTIFICATE

TO CLEAR TITLE AGENCY OF ARIZONA, LLC, SEVEN C'S INVESTMENTS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, PAVILION VENTURES, LLC, AND KIRBY A MARTIN AND ANN J MARTIN, HUSBAND AND WIFE, AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B, 8, 11, 13, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 09/20/2018.

DATE OF PLAT OR MAP: 10/04/2018

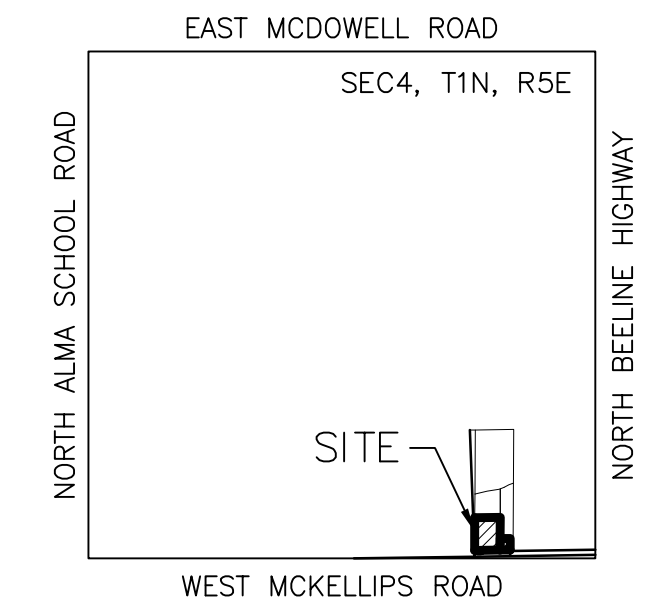
COLIN D. HARVEY
 ARIZONA R.L.S. 42017



HARVEY LAND SURVEYING, INC. P.O. BOX 10772 CASA GRANDE, AZ 85130 PHONE: (520) 876-4786 E-MAIL: COLEHARVEY@HARVEYSURVEYING.COM	DRAWN BY: JH	CHECKED BY: CDH
	SCALE: 1" = 40'	
	DATE: 10/10/2018	
	JOB NUMBER	SHEET
AN A.L.T.A./N.S.P.S. LAND TITLE SURVEY		2 OF 4

A TOPOGRAPHICAL SURVEY

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP

SCALE: 1" = 2000'
LEGAL DESCRIPTION

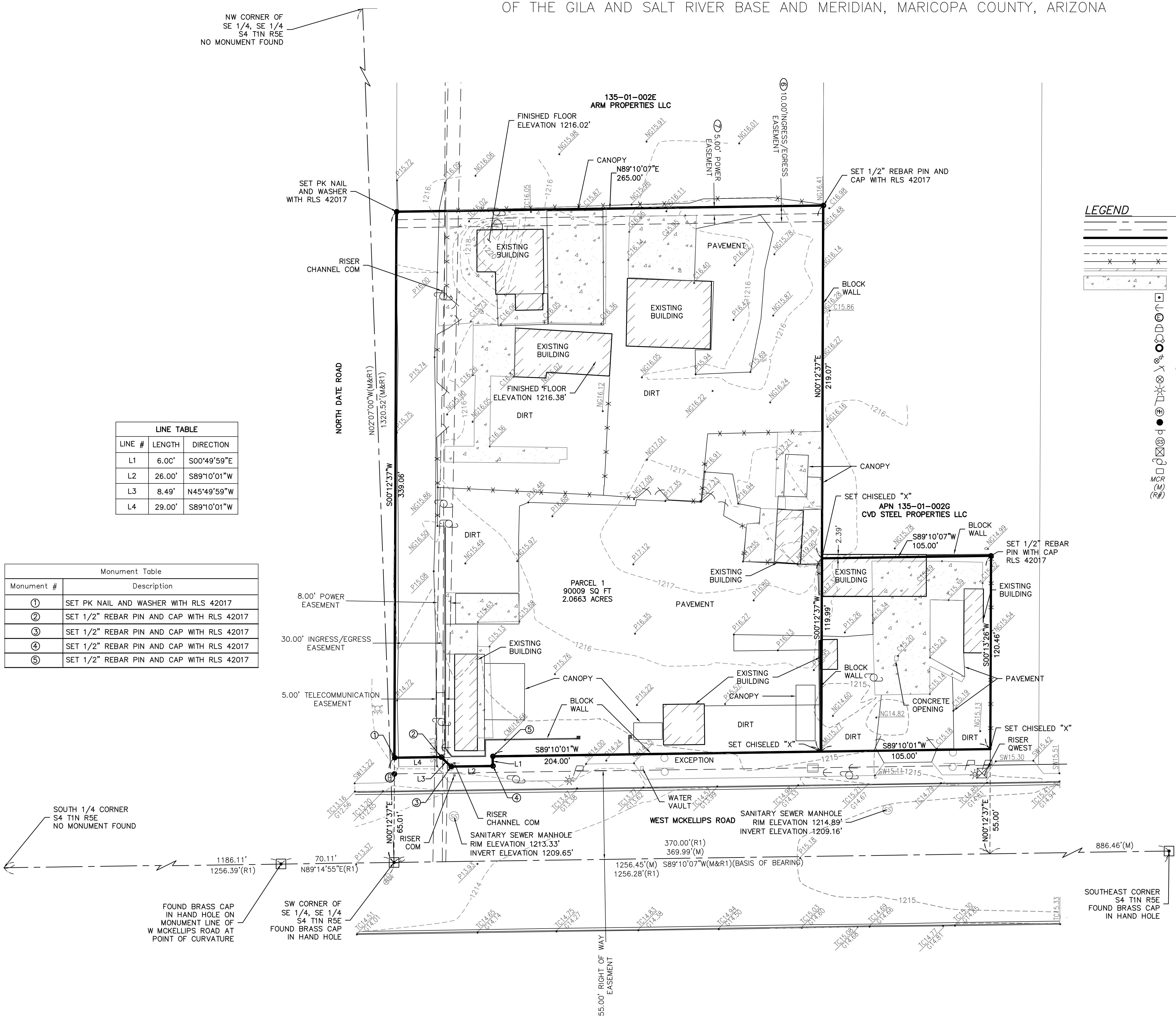
THE SOUTH 404 FEET OF THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 4; RUNNING THENCE NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER A DISTANCE OF 285.0 FEET;
THENCE NORTH 0 DEGREES 13 MINUTES 40 SECONDS EAST, 699.5 FEET TO THE CENTER LINE OF SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL; THENCE SOUTHWESTERLY, ALONG CENTER LINE OF LATERAL, 272.0 FEET, MORE OR LESS, TO A POINT 27.19 FEET EAST OF THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE SOUTH 0 DEGREES 13 MINUTES 40 SECONDS WEST 650.60 FEET TO THE POINT OF BEGINNING;
EXCEPT ANY PORTION THEREOF LYING WITHIN THE RIGHT-OF-WAY OF THE SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL;
EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;
THENCE NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4, FOR A DISTANCE OF 55.01 FEET, TO A POINT ON THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 10.00 FEET, TO A POINT ON THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD;
THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, ALONG THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 29.00 FEET;
THENCE SOUTH 45 DEGREES 48 MINUTES 56 SECONDS EAST, FOR A DISTANCE OF 8.49 FEET;
THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, FOR A DISTANCE OF 26.00 FEET;
THENCE NORTH 00 DEGREES 48 MINUTES 56 SECONDS WEST, FOR A DISTANCE OF 6.00 FEET, TO A POINT ON THE NEW 65 FOOT RIGHT OF WAY LINE;
THENCE NORTH 89 DEGREES 11 MINUTES 04 SECONDS EAST, ALONG THE NEW 65 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 309.00 FEET;
THENCE SOUTH 00 DEGREES 13 MINUTES 40 SECONDS WEST, FOR A DISTANCE OF 10.00 FEET, TO A POINT ON THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD;
THENCE SOUTH 89 DEGREES 11 MINUTES 04 SECONDS WEST, ALONG THE EXISTING 55 FOOT RIGHT OF WAY LINE OF SAID EAST MCKELLIPS ROAD, FOR A DISTANCE OF 370.00 FEET, TO THE POINT OF BEGINNING.

LEGEND

- SECTION LINE
- MONUMENT LINE
- PROPERTY LINE
- OTHERS' PROPERTY
- EXISTING EASEMENT
- CHAIN LINK FENCE
- BLOCK WALL
- CONCRETE
- BRASS CAP IN HANDHOLE
- DOWN GUY WIRE
- ELECTRICAL MANHOLE
- ELECTRIC METER
- FIRE DEPARTMENT CONNECTION
- REBAR PIN (AS NOTED)
- GAS VALVE
- GATE
- WATER VALVE
- LIGHT POLE
- MAILBOX
- MANHOLE
- CONCRETE NAIL (AS NOTED)
- STREET SIGN
- SEWER MANHOLE
- JUNCTION BOX
- UTILITY POLE
- WATER METER
- MARICOPA COUNTY RECORDER
- (M) MEASURED BEARINGS/DISTANCES
- (R#) RECORDED BEARINGS/DISTANCES

LINE #	LENGTH	DIRECTION
L1	6.00'	S00°49'59"E
L2	26.00'	S89°10'01"W
L3	8.49'	N45°49'59"W
L4	29.00'	S89°10'01"W

Monument #	Description
①	SET PK NAIL AND WASHER WITH RLS 42017
②	SET 1/2" REBAR PIN AND CAP WITH RLS 42017
③	SET 1/2" REBAR PIN AND CAP WITH RLS 42017
④	SET 1/2" REBAR PIN AND CAP WITH RLS 42017
⑤	SET 1/2" REBAR PIN AND CAP WITH RLS 42017



OWNER INFORMATION

KIRBY A AND ANN J MARTIN
550 W MCKELLIPS RD
MESA AZ 85201

REFERENCE DOCUMENTS

(R1) - AN ALTA SURVEY BOOK 699 OF MAPS PAGE 20, MCR

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING S89°10'07"W. (ASSUMED BEARING)

BENCHMARK

BRASS TAG FOUND AT THE INTERSECTION OF COUNTRY CLUB & MCKELLIPS, ALSO BEING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
ELEVATION = 1217.72' (88 DATUM)

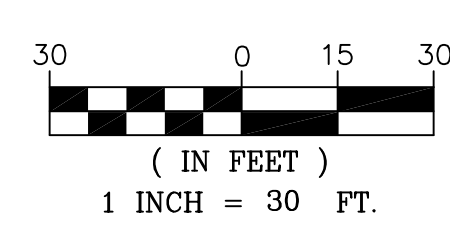
SURVEYOR NOTES

- 1-FIELDWORK WAS COMPLETED IN THE MONTH OF SEPTEMBER, 2018.
- 2-ALL BEARINGS AND DISTANCES ARE MEASURED UNLESS OTHERWISE NOTED.
- 3-THIS SURVEYOR HAS MADE NO INDEPENDENT SEARCH FOR TAXES, ASSESSMENTS, RESERVATIONS IN PATENT, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, LIENS, COVENANTS, CONDITIONS OF RESTRICTIONS OR ANY OTHER RECORD INFORMATION THAT MAY BE DISCLOSED BY A CURRENT TITLE REPORT OR OTHER RESEARCH.

SURVEYOR CERTIFICATE

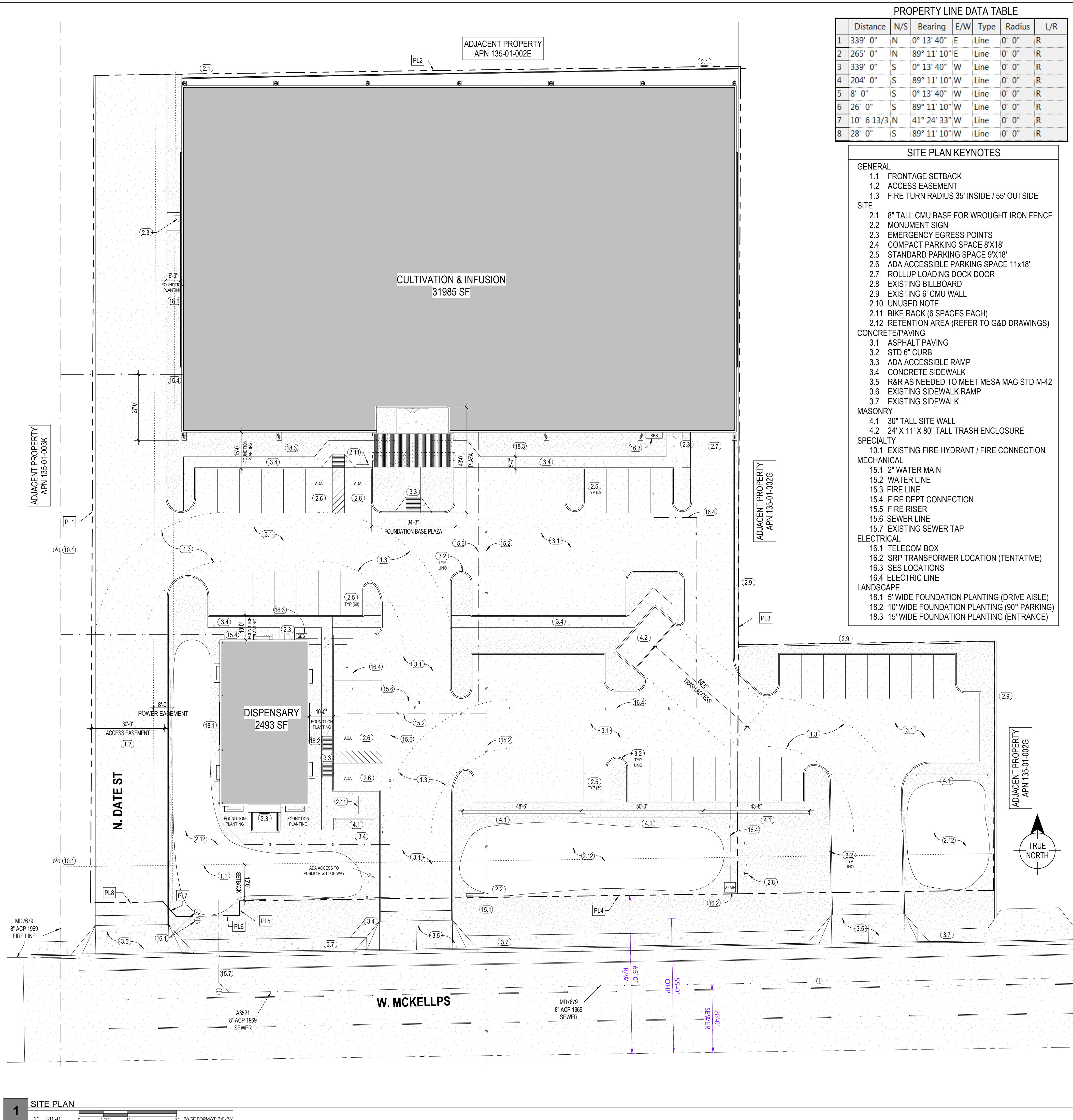
I, COLIN D. HARVEY, A DULY LICENSED LAND SURVEYOR IN THE STATE OF ARIZONA DO HEREBY CERTIFY THAT THIS DRAWING IS BASED ON A SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION DURING THE MONTH OF OCTOBER, 2018 AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CD Harvey
COLIN D. HARVEY
ARIZONA R.L.S. 42017



HARVEY LAND SURVEYING, INC.
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CASA GRANDE, AZ 85130
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DRAWN BY: JH	CHECKED BY: CDH
SCALE: 1" = 40'	
DATE: 10/10/2018	
JOB NUMBER	SHEET
2018-72	3 OF 4



PROPERTY LINE DATA TABLE

Distance	N/S	Bearing	E/W	Type	Radius	L/R	
1	339' 0"	N	0° 13' 40"	E	Line	0' 0"	R
2	265' 0"	N	89° 11' 10"	E	Line	0' 0"	R
3	339' 0"	S	0° 13' 40"	W	Line	0' 0"	R
4	204' 0"	S	89° 11' 10"	W	Line	0' 0"	R
5	8' 0"	S	0° 13' 40"	W	Line	0' 0"	R
6	26' 0"	S	89° 11' 10"	W	Line	0' 0"	R
7	10' 6 13/32"	N	41° 24' 33"	W	Line	0' 0"	R
8	28' 0"	S	89° 11' 10"	W	Line	0' 0"	R

- SITE PLAN KEYNOTES**
- GENERAL**
- FRONTAGE SETBACK
 - ACCESS EASEMENT
 - FIRE TURN RADIUS 35' INSIDE / 55' OUTSIDE
- SITE**
- 8" TALL CMU BASE FOR WROUGHT IRON FENCE
 - MONUMENT SIGN
 - EMERGENCY EGRESS POINTS
 - COMPACT PARKING SPACE 8'X18'
 - STANDARD PARKING SPACE 9'X18'
 - ADA ACCESSIBLE PARKING SPACE 11'X18'
 - ROLLUP LOADING DOCK DOOR
 - EXISTING BILLBOARD
 - EXISTING 6' CMU WALL
 - UNUSED NOTE
 - BIKE RACK (6 SPACES EACH)
 - RETENTION AREA (REFER TO G&D DRAWINGS)
- CONCRETE/PAVING**
- ASPHALT PAVING
 - STD 6" CURB
 - ADA ACCESSIBLE RAMP
 - CONCRETE SIDEWALK
 - R&R AS NEEDED TO MEET MESA MAG STD M-42
 - EXISTING SIDEWALK RAMP
 - EXISTING SIDEWALK
- MASONRY**
- 30" TALL SITE WALL
 - 24' X 11' X 80" TALL TRASH ENCLOSURE
- SPECIALTY**
- EXISTING FIRE HYDRANT / FIRE CONNECTION
- MECHANICAL**
- 2" WATER MAIN
 - WATER LINE
 - FIRE LINE
 - FIRE DEPT CONNECTION
 - FIRE RISER
 - SEWER LINE
 - EXISTING SEWER TAP
- ELECTRICAL**
- TELECOM BOX
 - SRP TRANSFORMER LOCATION (TENTATIVE)
 - SES LOCATIONS
 - ELECTRIC LINE
- LANDSCAPE**
- 5' WIDE FOUNDATION PLANTING (DRIVE AISLE)
 - 10' WIDE FOUNDATION PLANTING (90° PARKING)
 - 15' WIDE FOUNDATION PLANTING (ENTRANCE)

CALCULATION/ANALYSIS

CITY OF MESA MMJ SETBACK SURVEY TABLE

ALCOHOL / DRUG ADDICTION REHABILITATION FACILITY
CANYON VISTA RECOVERY CENTER
860 N. CENTER ST.
DISTANCE = 18,200'

RESIDENTIAL SUBSTANCE ABUSE TREATMENT FACILITY
COMMUNITY BRIDGES
118 E. INGRAM ST.
DISTANCE = 5,000'

DEPENDENT DAYCARE
ALL STARS PRESCHOOL & DAYCARE
1830 N. COUNTRY CLUB DR.
DISTANCE = 1,500'

SCHOOL
RIVERVIEW HIGH SCHOOL
1731 N. COUNTRY CLUB DR.
DISTANCE = 12,180'

PLACE OF WORSHIP
CHURCH OF JC OF LDS
1718 N. DATE
DISTANCE = 1,600'

PUBLIC PARK (WHITMAN PARK)
1700 N. GRAND
DISTANCE = 2,380'

PUBLIC LIBRARY
MESA PUBLIC LIBRARY
64 E. 1ST ST.
DISTANCE = 112,500'

HOA OPEN SPACE
SYENNA VISTA
625 W. MCKELLIPS RD.
DISTANCE = 11,500'

CULTIVATION / INFUSION FACILITY — NO MEDICAL
MARIJUANA DISPENSARIES OR CULTIVATION FACILITIES
WITHIN 5,280' HEREON.

FACILITY USE AREAS

DISPENSARY FACILITY	-	2493 SF
CULTIVATION FACILITY	-	24863 SF
EXTRACTION/INFUSION	-	7123 SF
PAVING & SIDEWALK	-	49540 SF
LANDSCAPE AREA	-	18452 SF

BUILDING AREA ANALYSIS

CULTIVATION BUILDING

FACTORY GROUP F-1	-	27997 SF
STORAGE GROUP S-2	-	2323 SF
BUSINESS GROUP B	-	1665 SF

DISPENSARY BUILDING

MERCHANTILE GROUP M	-	1714 SF
BUSINESS GROUP B	-	639 SF
STORAGE GROUP S-1	-	140 SF

OCCUPANCY BASED ON IBC TABLE 1004.12
MIXED USE, NON SEPARATED

CULTIVATION BUILDING

AG / WAREHOUSE	-	27998 SF / 300	=	93.3 OCC
KITCHEN/INFUSION	-	800 SF / 200	=	4.0 OCC
STORAGE	-	2323 SF / 300	=	7.7 OCC
OFFICE AREA	-	864 SF / 100	=	8.6 OCC
TOTAL	-	31985 SF	=	114 OCC

DISPENSARY BUILDING

MERCHANTILE	-	1714 SF / 60	=	28.6 OCC
STOCK/PACKING/STORE	-	639 SF / 100	=	6.4 OCC
SECURE STORAGE	-	140 SF / 300	=	0.5 OCC
TOTAL	-	2493 SF	=	35 OCC

EXIT REQUIREMENTS

CULTIVATION BLDG - 2 EXITS REQUIRED
4 EXITS PROVIDED

DISPENSARY BLDG - 2 EXITS REQUIRED
2 EXITS PROVIDED

RESTROOM REQUIREMENTS

WAREHOUSE	-	1 RESTROOM PER 100 OCC
BUSINESS	-	1 RESTROOM PER 25 OCC
TOTAL	-	37 OCC => 2 RESTROOMS

DRINKING FOUNTAIN
1 REQUIRED - 2 PROVIDED

MOP SINK
1 REQUIRED - 2 PROVIDED

PARKING CALCULATION

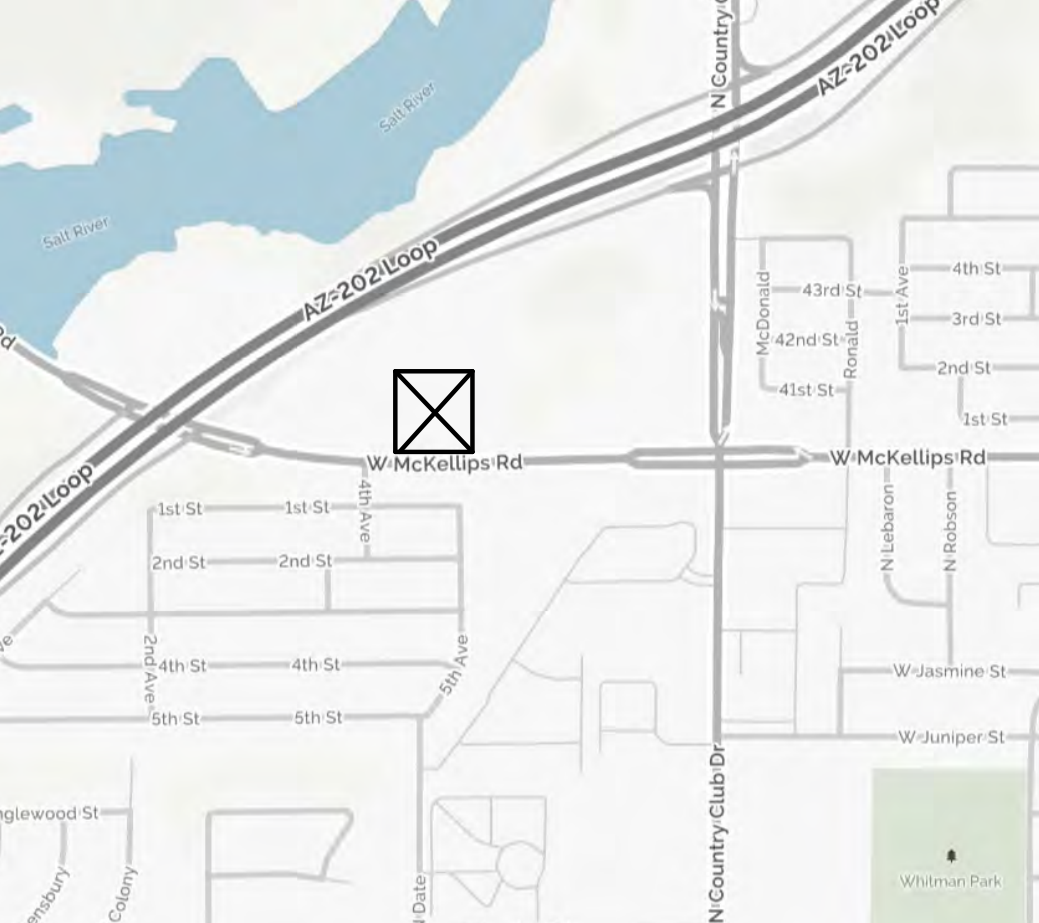
2493 SF RETAIL
1 SPACE PER 375 SF
7 PARKING SPACES REQUIRED

31985 SF MFG/INDUSTRIAL
1 SPACE PER 600 SF
54 PARKING SPACES REQUIRED

61 TOTAL PARKING SPACES REQUIRED
64 TOTAL PARKING SPACES PROVIDED

SPACES DEDICATED FOR ADA
4 ADA SPACES TOTAL
2 ADA VAN ACCESS

VICINITY MAP



PROJECT DATA

APN: COMBINED (135-01-002J & 135-01-002K)
ZONING: LI
ADDRESS: 550 W. MCKELLIPS ROAD
MESA, AZ 85201
OWNER: J3M PROPERTY HOLDINGS, LLC.
312 N. ALMA SCHOOL RD SUITE 1
CHANDLER, AZ 85224
480-213-1402
ARCHITECT/ENGINEER: ROCA VERDE DESIGN BUILD
TOM LASSEN, P.E.
480-267-5163
MP&E ENGINEER: TOML@BUILDREROCK.COM
LSW ENGINEERS ARIZONA
PHILLIP MOUW, P.E.
602-336-3217
PMOUW@LSWPHX.COM
STRUCTURAL ENGINEER: CARUSO TURLEY SCOTT
PAUL SCOTT, P.E.
480-774-1700
PSCOTT@CTSAZ.COM

PROPERTY AREA:

135-01-002J	89871 SF
135-01-002K	12600 SF
TOTAL COMBINED	102471 SF

STRUCTURE AREAS:

CULTIVATION/INFUSION	31985 SF
RETAIL DISPENSARY	2493 SF
TOTAL STRUCTURE AREA	34478 SF

LOT COVERAGE: 33.6%

BUILDING CLASSIFICATION:
MIXED USE, NON SEPARATED
CULTIVATION BLDG: F-1, B, S-2 ; TYPE VB
DISPENSARY BLDG: M, S-1 ; TYPE VB

CULTIVATION BUILDING HEIGHT - 27'-0"
DISPENSARY BUILDING HEIGHT - 17'-0"

FRONT SETBACK - 15'
SIDE SETBACK - 0'
REAR SETBACK - 0'

PROJECT ADDRESS
550 W. MCKELLIPS RD.
MESA, AZ 85201

REVISION HISTORY

No	Description	Date

LEGAL DESCRIPTION
S 404F OF FOL DESC PROP BEG SW COR SE4 SE4 SEC 4 TH E 265F N 699.5F TH SWLY 272F ML TO PT 27.19F E OF W LN SE4 SE4 TH S 650.60F TO POB EX 55F RD & EX RD DAF COM SW COR SE4 SE4 TH N 55F TO TPOB CONT N 10F E 29F S 45D 48M E 8.49F E 26F N 6F E 309F S 10F W 370F TO TPOB

BUILDING CODES

2006 IBC	2006 IMC
2006 IRC	2006 IFGC
2006 IFC	2006 IEBC
2006 IFP	2009 IECC
2005 NEC	ADA 2003 ICC a117.1
	2010 ADAAG

GENERAL NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL COMFORM TO ALL APPLICABLE CODES AND ORDINANCES
- ALL NEW AND RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND
- OWNERS OF PROPERTIES ADJACENT TO PUBLIC RIGHT OF WAYS ARE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN IN THE RIGHT OF WAY IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL SERVICE AREAS SHALL BE SCREENED TO SHIELD ALL TRUCK CONTAINERS AND LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER ELECTRICAL AND MECHANICAL EQUIPMENT.
- GENERAL CONTRACTOR SHALL PROVIDE DUST CONTROL PLAN IN ACCORDANCE WITH MARICOPA COUNTY REQUIREMENTS.
- SIGNAGE WILL BE REVIEWED UNDER A SEPARATE PERMIT.
- ALL RAMPS SHALL MEET ADA ACCESSIBLE GUIDELINES, 12:1 SLOPE WITH 2% MAX CROSS SLOPE

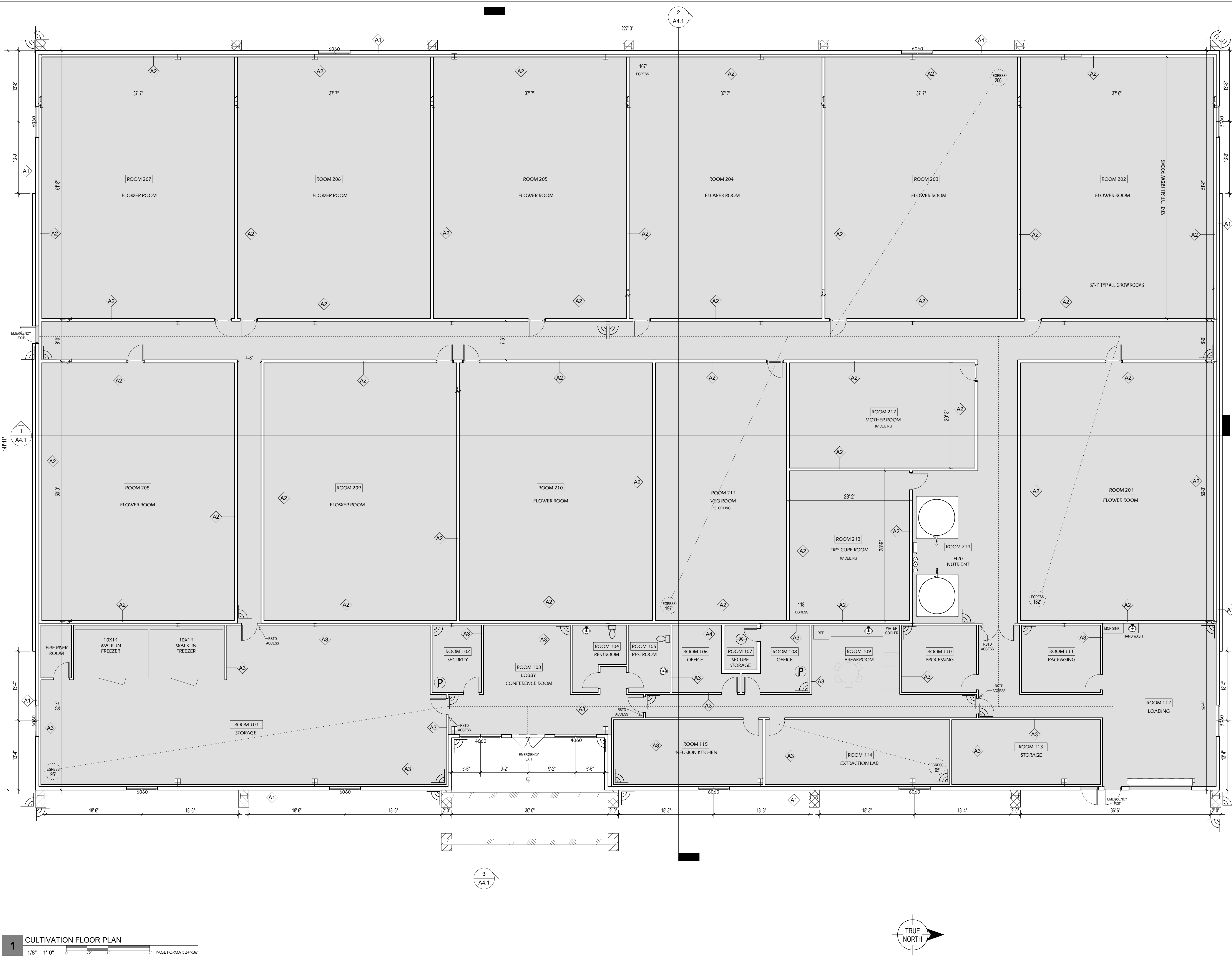
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SITE PLAN

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A1.1





SECURITY LEGEND

- EE EMERGENCY EXIT
- EGRESS DISTANCE TO EXIT
- 90° CAMERA
- 360° CAMERA
- P PANIC BUTTON

WALL SCHEDULE

- A1 PREMANUFACTURED STEEL BLDG WALL
- A2 DPS 4-5/8" INSULATED PANEL
- A3 PARTITION 2X4 STEEL STUD
- A4 SECURE STORAGE WALL SYSTEM TBD

ROOM SCHEDULE

INFUSION FACILITY		
RM#	DESCRIPTION	SIZE
101	STORAGE	1963 SF
102	SECURITY OFFICE	123 SF
103	CONFERENCE ROOM	215 SF
104	RESTROOM 1	106 SF
105	RESTROOM 2	104 SF
106	OFFICE	136 SF
107	SECURE STORAGE	53 SF
108	OFFICE	136 SF
109	BREAKROOM	225 SF
110	PROCESSING	185 SF
111	PACKAGING	196 SF
112	LOADING	683 SF
113	STORAGE	360 SF
114	EXTRACTION LAB	451 SF
115	INFUSION KITCHEN	356 SF
XXX	MISCHALLWAYS	1830 SF
TOTAL INFUSION FACILITY		7122 SF

CULTIVATION FACILITY		
RM#	DESCRIPTION	SIZE
201	FLOWER ROOM 1	1832 SF
202	FLOWER ROOM 2	1832 SF
203	FLOWER ROOM 3	1832 SF
204	FLOWER ROOM 4	1832 SF
205	FLOWER ROOM 5	1832 SF
206	FLOWER ROOM 6	1832 SF
207	FLOWER ROOM 7	1832 SF
208	FLOWER ROOM 8	1832 SF
209	FLOWER ROOM 9	1832 SF
210	FLOWER ROOM 10	1832 SF
211	VEG ROOM	1244 SF
212	MOTHER ROOM	717 SF
213	DRY CURE	666 SF
214	H2O/NUTRIENTS	359 SF
XXX	MISCHALLWAYS	3557 SF
TOTAL CULTIVATION FACILITY		24863 SF

GENERAL NOTES

- DIMENSION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR ARCHITECT.
- ALL BUILDING INSULATION SHALL COMPLY WITH 2006 IBC SECTION 718. FLAME SPREAD RATING SHALL NOT EXCEED 25, AND A SMOKE DENSITY SHALL NOT EXCEED 450.
- CONTRACTOR SHALL ADD EMERGENCY EXIT SIGNAGE THROUGHOUT THE FACILITY AS REQUIRED BY CITY OF MESA INSPECTOR.
- INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10. MAXIMUM DISTANCE TRAVELED TO A FIRE EXTINGUISHER IS 75 FEET.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
- USE MOISTURE RESISTANT GYPSUM BOARD IN ALL HIGH MOISTURE AREAS INCLUDING BEHIND ALL PLUMBING FIXTURES.



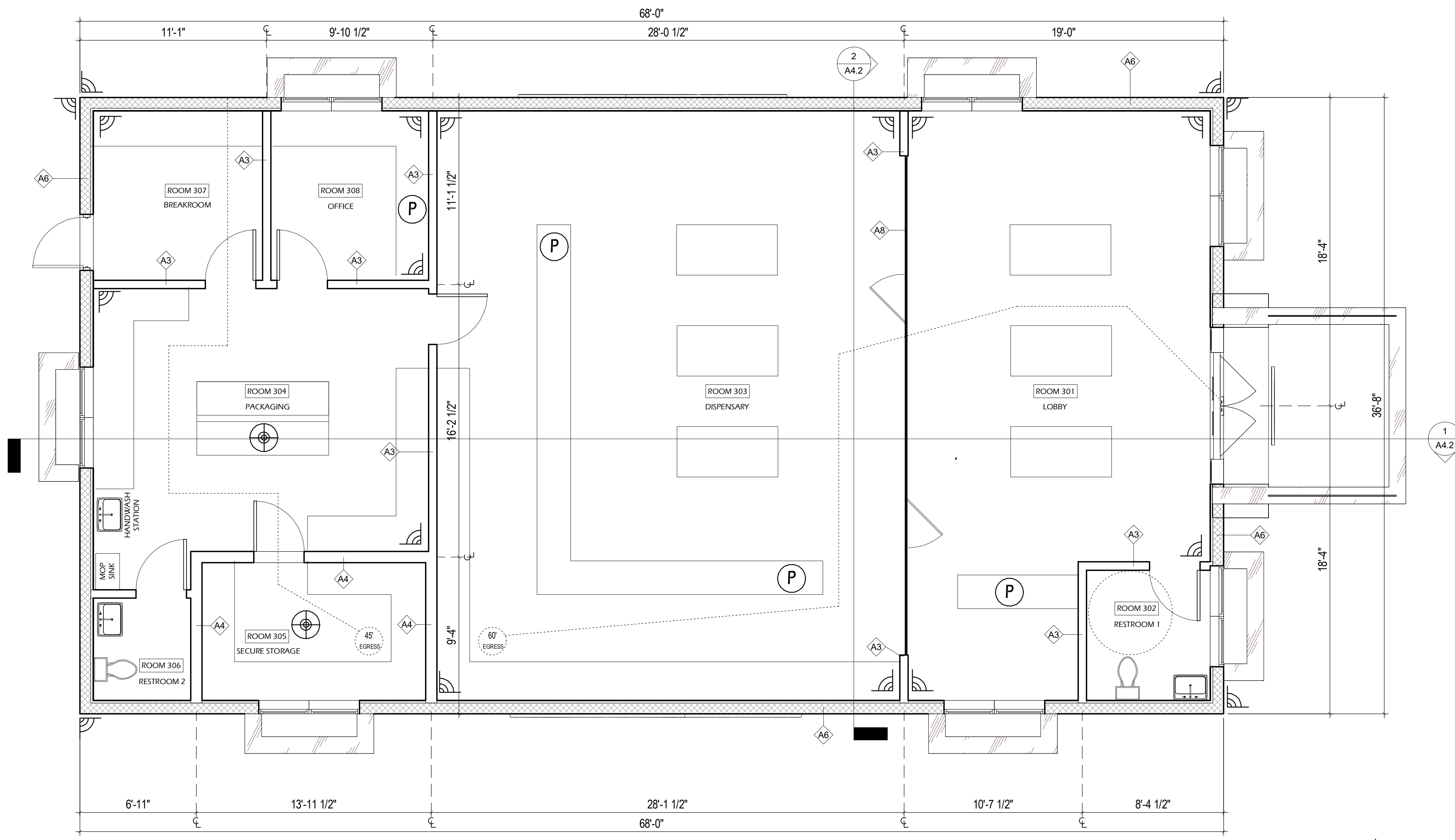
PROJECT ADDRESS
550 W. MCKELLIPS RD.
MESA, AZ 85201

REVISION HISTORY

No	Description	Date



DESIGNED BY: TL
DRAWN BY: TL
APPROVED BY: TL
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CULTIVATION FLOOR PLAN
PAGE NUMBER A2.1



SECURITY LEGEND

EE	EMERGENCY EXIT
○ DIST	DISTANCE TO EXIT
◌	90° CAMERA
◌	360° CAMERA
P	PANIC BUTTON

WALL SCHEDULE

A3	INTERIOR PARTITION 2X4 STUD WALL
A5	SECURE STORAGE WALL SYSTEM TBD
A6	8" MASONRY W/ INTERIOR FURRING
A7	8" MASONRY
A8	GLASS WALL PARTITION TBD

ROOM SCHEDULE

ROOM#	USE	SIZE
301	LOBBY	628 SF
302	RESTROOM 1	71 SF
303	DISPENSARY	1015 SF
304	PACKAGING	363 SF
305	SECURE STORAGE	140 SF
306	RESTROOM 2	38 SF
307	OFFICE/BREAKROOM	125 SF
308	OFFICE	113 SF
TOTAL	DISPENSARY FACILITY	2493 SF



PROJECT ADDRESS
550 W. MCKELLIPS RD.
MESA, AZ 85201

REVISION HISTORY

No	Description	Date



PRELIMINARY
NOT FOR CONSTRUCTION

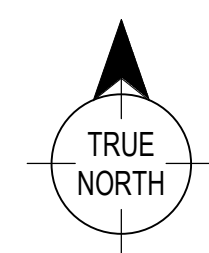
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APPROVED BY: EM

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DISPENSARY FLOOR PLAN

PAGE NUMBER
A2.2

1 DISPENSARY FLOOR PLAN
1/4" = 1'-0" 0 1/2 1 2 PAGE FORMAT: 24"x36"



- GENERAL NOTES**
- DIMENSION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR ARCHITECT.
 - ALL BUILDING INSULATION SHALL COMPLY WITH 2006 IBC SECTION 718. FLAME SPREAD RATING SHALL NOT EXCEED 25, AND A SMOKE DENSITY SHALL NOT EXCEED 450.
 - CONTRACTOR SHALL ADD EMERGENCY EXIT SIGNAGE THROUGHOUT THE FACILITY AS REQUIRED BY CITY OF MESA INSPECTOR.
 - INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10. MAXIMUM DISTANCE TRAVELED TO A FIRE EXTINGUISHER IS 75 FEET.
 - ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
 - USE MOISTURE RESISTANT GYPSUM BOARD IN ALL HIGH MOISTURE AREAS INCLUDING BEHIND ALL PLUMBING FIXTURES.

PRELIMINARY GRADING AND DRAINAGE PLAN

FOR
PITCHFORK MESA FACILITY
550 WEST MCKELLIPS ROAD
MESA, ARIZONA 85201

OUTDATED PLAN

REVISED PLAN BASED ON NEW SITE LAYOUT WILL BE UPLOADED TO THE SITE ASAP

OUTDATED PLAN

REVISED PLAN BASED ON NEW SITE LAYOUT WILL BE UPLOADED TO THE SITE ASAP

DRAINAGE STATEMENT

THE SUBJECT SITE CONSISTS OF TWO SEPARATE LAND PARCELS COMPRISING 2.313 ACRES NET AREA. IT IS LOCATED AT 550 W. MCKELLIPS ROAD. THE PROPERTY IS CURRENTLY DEVELOPED BUT WILL BE TOTALLY DEMOLISHED AND THEN REDEVELOPED. THE NEW FACILITY WILL CONSIST OF TWO MAIN STRUCTURES. ONE WILL BE A 34,500 SQUARE FOOT PRE-MANUFACTURED STEEL BUILDING. THE OTHER BUILDING WILL BE A CONVENTIONALLY BUILT 2,493 SQUARE FOOT RETAIL CENTER. THE PURPOSE OF THE FACILITY IS FOR MARIJUANA CULTIVATION, INFUSION, AND DISPENSING.

IT APPEARS THAT THE SITE CURRENTLY DRAINS TO MCKELLIPS ROAD AND THEN IN THE STREET WESTWARD TO THE SALT RIVER. THE NEAREST EXISTING STORMDRAIN IS 1,000 FEET EAST OF THE SITE. THE NEAREST CATCH BASIN IS LOCATED AT THE NORTHWEST CORNER OF COUNTRY CLUB DRIVE AND MCKELLIPS ROAD. WITH THE NEW CONSTRUCTION, STORMWATER FROM THE 100-YEAR, 2-HOUR STORM EVENT WILL BE RETAINED PER CITY OF MESA DESIGN GUIDELINES. ALL RETENTION FACILITIES WILL ACCOMMODATE ON-SITE FLOW ONLY. THE SITE IS NOT AFFECTED BY ANY OFF-SITE STORMWATER.

DATE STREET WHICH IS LOCATED ON THE WEST SIDE OF THE SUBJECT PROPERTY WILL BE RESURFACED BUT NOT REGRADED. IT WILL CONTINUE TO DRAIN TO MCKELLIPS ROAD AS IT HAS HISTORICALLY. THE WEST ONE-HALF OF THE METAL ROOF OF THE CULTIVATION/INFUSION BUILDING WILL DRAIN TO DATE STREET. THEREFORE THAT PORTION OF THE ROOF TOGETHER WITH DATE STREET IS ELIMINATED FROM THE RETENTION CALCULATIONS.

RETENTION FACILITIES WILL BE SIZED USING THE FOLLOWING FORMULA AND DESIGN CRITERIA ALL TAKEN FROM THE COM 'ENGINEERING AND DESIGN STANDARDS' MANUAL. THAT FORMULA IS:

$$VR = C (D+12) A$$

WHERE: VR = STORMWATER VOLUME FROM A 100-YEAR, 2-HOUR STORM (2.2"/HR)
 C = RUNOFF COEFFICIENT
 D = DEPTH OF RAINFALL FOR THE DESIGN STORM
 A = SITE AREA IN SQUARE FEET

WEIGHTED 'C' VALUE CALCULATION

SURFACE	A	X	C	= CA
DESERT LANDSCAPE	16,122 S.F.		0.50	8,061 C.F.
ASPHALT/CONCRETE	39,976 S.F.		0.85	33,980 C.F.
METAL ROOF	17,250 S.F.		0.95	16,388 C.F.
TOTALS	73,348 S.F.			58,429 C.F.

THEREFORE: CW = 58,429/73,348 = 0.80

REQUIRED RETENTION VOLUME CALCULATION

VR = C (D+12) A = 0.80 (2.2/12) 73,348 = 10,758 CUBIC FEET OF VOLUME REQUIRED

RETENTION FACILITIES

THERE WILL BE A SINGLE SURFACE RETENTION BASIN COMPRISED OF TWO INDIVIDUAL BASINS. ONE IS LOCATED IN THE SOUTHWEST CORNER OF THE SITE. THE OTHER ON THE SOUTH SIDE OF THE PROPOSED DISPENSARY BUILDING. THE FORMER WILL HAVE A MAXIMUM WATER DEPTH OF 3.5 FEET. THE LATTER WILL HAVE A DEPTH OF 2 FEET. THE TWO WILL BE CONNECTED BY A 12-INCH DIAMETER EQUALIZER PIPE. THE LARGER OF THE TWO BASINS WILL HAVE AND OVERFLOW/BUBBLER STRUCTURE THAT WILL SERVE AS THE BASIN EQUALIZER. THE WAY IT WILL OPERATE IS THAT SHOULD THE LARGE BASIN FILL FIRST, THE EQUALIZER WILL SERVE AS AN OVERFLOW THAT WILL ROUTE STORMWATER TO THE SMALLER BASIN. SHOULD THE SMALLER BASIN FILL FIRST, THE EQUALIZER STRUCTURE WILL OPERATE AS A BUBBLER BOX. PER THE CITY OF MESA DESIGN GUIDELINES, THE WATER DEPTH IN ANY SURFACE BASIN SHALL NOT EXCEED 3.5 FEET AND THE BASIN SIDE SLOPES SHALL BE 4 FEET HORIZONTAL TO 1 FOOT VERTICAL. THE VOLUME OF STORAGE FOR THIS EQUALIZED SURFACE BASIN IS 11,676 CUBIC FEET WHICH IS 918 CUBIC FEET MORE THAN THE REQUIRED VOLUME.

RETENTION BASIN DRY-UP

THE CITY OF MESA ALLOWS DRYWELLS AS A LAST RESORT TO AID IN THE DRY-UP OF A RETENTION BASIN. ACCORDING TO THE COM STORM DRAIN QUARTER SECTION MAP 18D THERE IS NO STORM DRAIN SYSTEM IN THE VICINITY OF THE PROJECT. THEREFORE, A DRYWELL WILL BE USED FOR POSITIVE DISPOSAL.

THE CITY GUIDELINES FOR DRYWELL DISPOSAL ARE 19,440 CUBIC FEET ALLOWED PER DRYWELL. THIS VOLUME MUST BE EVACUATED IN A 36-HOUR TIME PERIOD.

NO PERCOLATION TEST WAS PERFORMED FOR THE SUBJECT SITE PRIOR TO THE DATE OF THIS PRELIMINARY GRADING AND DRAINAGE PLAN. LACKING THAT INFORMATION THE DRYWELL COMPANY, 'TORRENT RESOURCES' WAS CONTACTED FOR INPUT AS TO PERC RATES AND SOILS PROFILES IN THE VICINITY. THEY PROVIDED A BORING LOG FOR A DRYWELL LOCATED ABOUT 0.25 MILES FROM THE SUBJECT SITE. AT A DEPTH OF 22 TO 27 FEET, CLAY, SAND AND COBBLES, IN THAT ORDER, WERE ENCOUNTERED. AT 27 FEET AND BEYOND, SAND, COBBLES AND BOULDERS WERE DISCOVERED. GIVEN THIS SOIL PROFILE, IT MUST BE ASSUMED THAT A SINGLE DRYWELL WILL EVACUATE THE 10,758 CUBIC FEET OF RETENTION WITHIN THE REQUIRED 36-HOUR PERIOD. TO MAKE SURE, A PERCOLATION TEST WILL BE PERFORMED DURING DRYWELL CONSTRUCTION AND THE RESULTS PROVIDED TO THE CITY.

ENGINEER

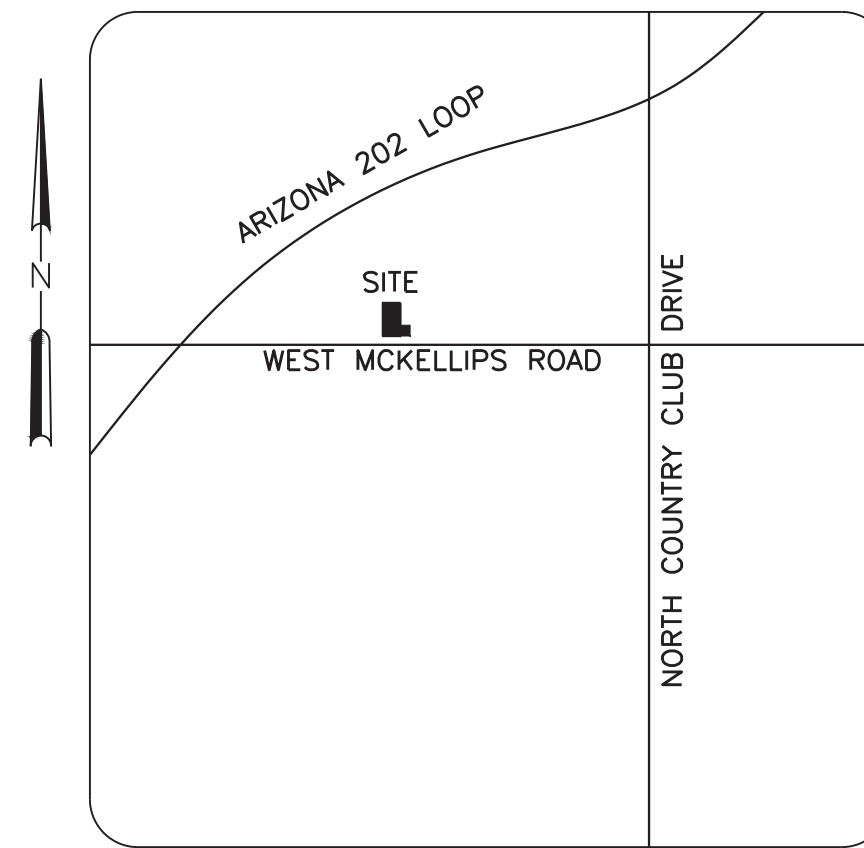
K-TECH ENGINEERING AND DESIGN
 5715 EAST ESTRID CIRCLE
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 ktech.dennis@gmail.com
 CONTACT: DENNIS KNUDSEN, P.E.

ARCHITECT

ROCA VERDE DESIGN BUILD
 1730 WEST SUNRISE BOULEVARD
 GILBERT, ARIZONA 85233
 PH: (480) 267-5163
 tom@buildredrock.com
 CONTACT: TOM LASSEN

OWNER

J3M PROPERTY HOLDINGS, LLC.
 312 N. ALMA SCHOOL RD SUITE 1
 CHANDLER, AZ 85224
 480-213-1402



VICINITY MAP
 (NOT TO SCALE)

LEGEND

SOME SYMBOLS MAY NOT APPEAR ON EACH SHEET

EXISTING

---	PROPERTY LINE
---	CENTER LINE OR MONUMENT LINE
---	EASEMENT LINE
---	CURB AND GUTTER
---	UNDERGROUND GAS LINE
---	WATER LINE
---	SEWER LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND ELECTRIC LINE
---	OVERHEAD ELECTRIC LINE
---	FENCE OR WALL
---	STORM DRAIN PIPE
---	CABLE TV JUNCTION BOX
---	TELEPHONE JUNCTION BOX
---	PROPERTY CORNER: NOTHING FND./SET
---	PROPERTY CORNER: FND. REBAR
---	BRASS CAP
---	BRASS CAP IN HANDHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER
---	BACKFLOW PREVENTER
---	IRRIGATION CONTROL VALVE
---	SANITARY SEWER MANHOLE
---	SEWER CLEANOUT
---	GAS METER
---	GAS VALVE
---	ELECTRIC METER
---	ELECTRIC TRANSFORMER
---	STREETLIGHT
---	LIGHTPOLE
---	UTILITY POLE
---	TRAFFIC SIGNAL BOX
---	TRAFFIC SIGNAL
---	TELEPHONE MANHOLE
---	STORM DRAIN MANHOLE
---	CATCH BASIN
---	DRYWELL
---	TREE
---	SIGN
---	EXISTING ASPHALT PAVEMENT
---	EXISTING ELEVATION
---	EXISTING CONTOUR ELEVATION
---	EXISTING RUNOFF FLOW DIRECTION
---	EXISTING GRADE

PROPOSED

---	PROPERTY LINE
---	RIGHT OF WAY
---	CENTER LINE OR MONUMENT LINE
---	EASEMENT LINE
---	PROPERTY CORNER: NOTHING FND./SET
---	PROPERTY CORNER: FND. REBAR
---	BRASS CAP
---	BRASS CAP IN HANDHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER
---	BACKFLOW PREVENTER
---	SANITARY SEWER MANHOLE
---	SEWER CLEANOUT
---	STORM DRAIN MANHOLE
---	CATCH BASIN
---	DRYWELL
---	GRADE BREAK
---	% DOWNWARD SLOPE
---	RUNOFF FLOW DIRECTION
---	RIPRAP PROTECTION
---	TOP OF BANK
---	PROPOSED ELEVATION
---	HIGH POINT
---	C/P CONCRETE/PAVEMENT, FLUSH
---	HWL HIGH WATER LEVEL
---	TC TOP OF CURB ELEVATION
---	P PAVEMENT ELEVATION
---	FL FLOW LINE ELEVATION
---	C CONCRETE ELEVATION
---	G GROUND ELEVATION
---	EP EDGE OF PAVEMENT ELEVATION
---	TW TOP OF WALL ELEVATION
---	RIM TOP OF RIM ELEVATION
---	FF FINISHED FLOOR ELEVATION
---	INV INVERT ELEVATION
---	ASPHALT PAVEMENT
---	CURB DEPRESSION
---	EXTRUDED/SINGLE CURB
---	CURB & GUTTER
---	W WATER LINE
---	S SEWER LINE
---	FL FIRE LINE
---	FLOWLINE OR DRAINAGE SWALE
---	EQUALIZER OR STORMDRAIN PIPE
---	TAPPING SLEEVE AND VALVE

PROJECT INFORMATION

APNS: 135-01-002J AND 135-01-002K
 NET AREA: 100,767.89 SF (2,313 AC)
 ZONING: LI (LIGHT INDUSTRIAL)

PROJECT DESCRIPTION

ALL EXISTING STRUCTURES ON THE PROPERTY WILL BE COMPLETELY REMOVED. THE NEW FACILITY WILL CONSIST OF 2 MAIN STRUCTURES. ONE WILL BE A 34,500 SF PRE-MANUFACTURED STEEL BUILDING. THE OTHER BUILDING WILL BE A CONVENTIONALLY BUILT 2,493 SF RETAIL CENTER. THE PURPOSE OF THE FACILITY IS FOR MARIJUANA CULTIVATION, INFUSION, AND DISPENSING.

FLOOD INFORMATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP 04013C2255L, DATED OCTOBER 10, 2013 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

SHEET INDEX

PG-1 PRELIMINARY GRADING AND DRAINAGE PLAN
 PG-2 PRELIMINARY GRADING AND DRAINAGE PLAN

LEGAL DESCRIPTION

PARCEL NO. 1:

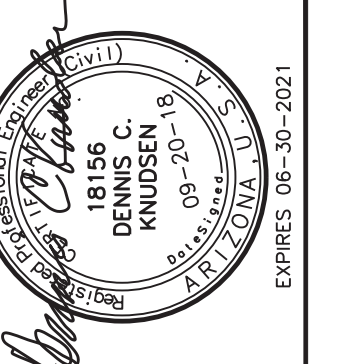
THE SOUTH 404 FEET OF THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; RUNNING THENCE NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 265.0 FEET; THENCE NORTH 0 DEGREES 13 MINUTES 40 SECONDS EAST, 699.5 FEET TO THE CENTER LINE OF SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL; THENCE SOUTHWESTERLY, ALONG CENTER LINE OF LATERAL, 272.0 FEET, MORE OR LESS, TO A POINT 27.19 FEET EAST OF THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE SOUTH 0 DEGREES 13 MINUTES 40 SECONDS WEST 650.60 FEET TO THE POINT OF BEGINNING; EXCEPT ANY PORTION THEREOF LYING WITHIN THE RIGHT-OF-WAY OF THE SALT RIVER VALLEY WATER USERS' ASSOCIATION LATERAL.

PARCEL NO. 2:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; RUNNING THENCE NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 265 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 11 MINUTES 10 SECONDS EAST, 105 FEET; THENCE NORTH 0 DEGREES 13 MINUTES 40 SECONDS EAST, 185 FEET; THENCE SOUTH 89 DEGREES 11 MINUTES 10 SECONDS WEST, 105 FEET; THENCE SOUTH 0 DEGREES 13 MINUTES 40 SECONDS WEST, 185 FEET TO THE TRUE POINT OF BEGINNING.

NO.	REVISIONS DESCRIPTION/DATE



K-TECH ENGINEERING AND DESIGN, LLC
 5715 East Estrid Circle
 Scottsdale, Arizona 85254
 PH (602) 391-5808 ktech.dennis@gmail.com

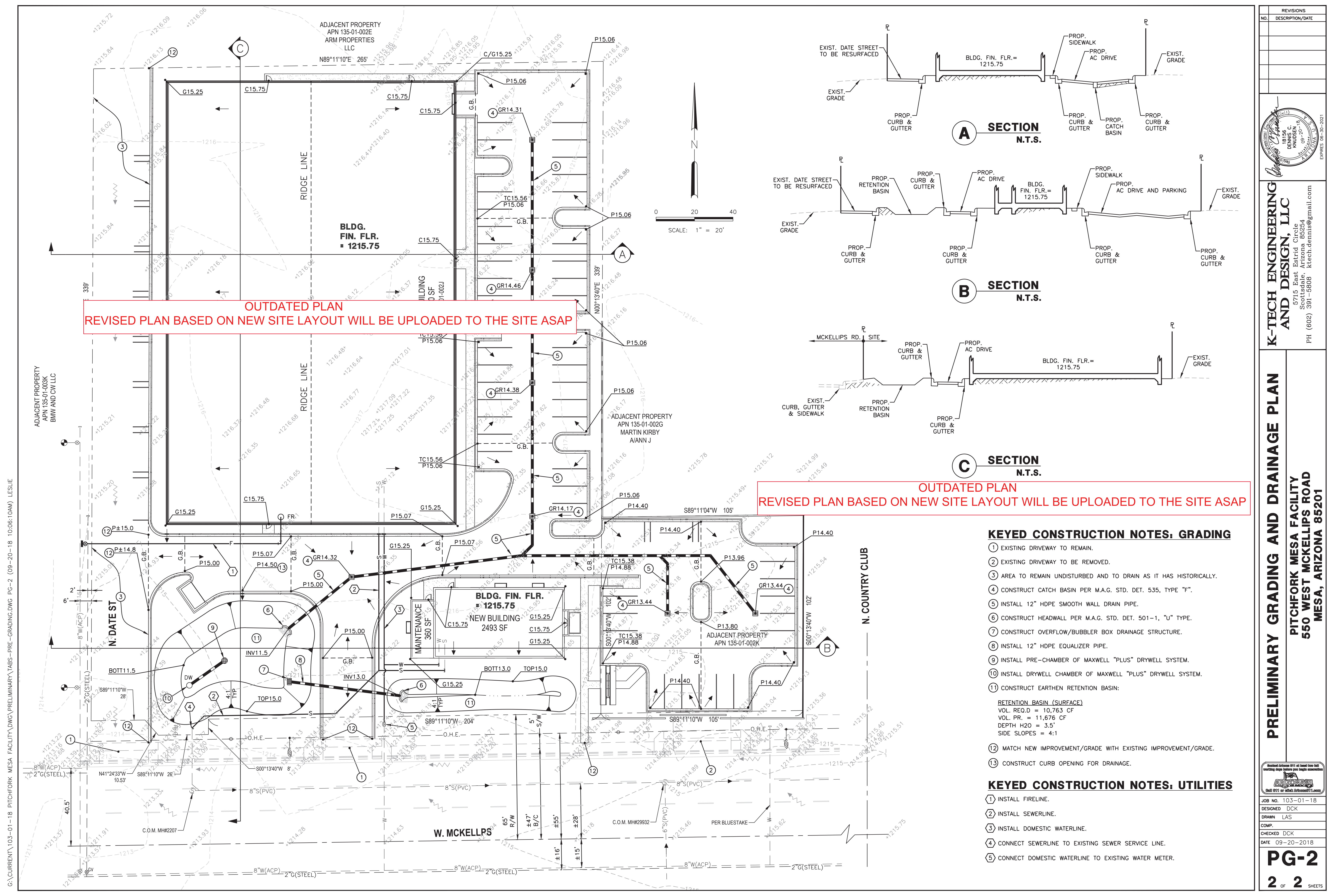
PRELIMINARY GRADING AND DRAINAGE PLAN

PITCHFORK MESA FACILITY
 550 WEST MCKELLIPS ROAD
 MESA, ARIZONA 85201



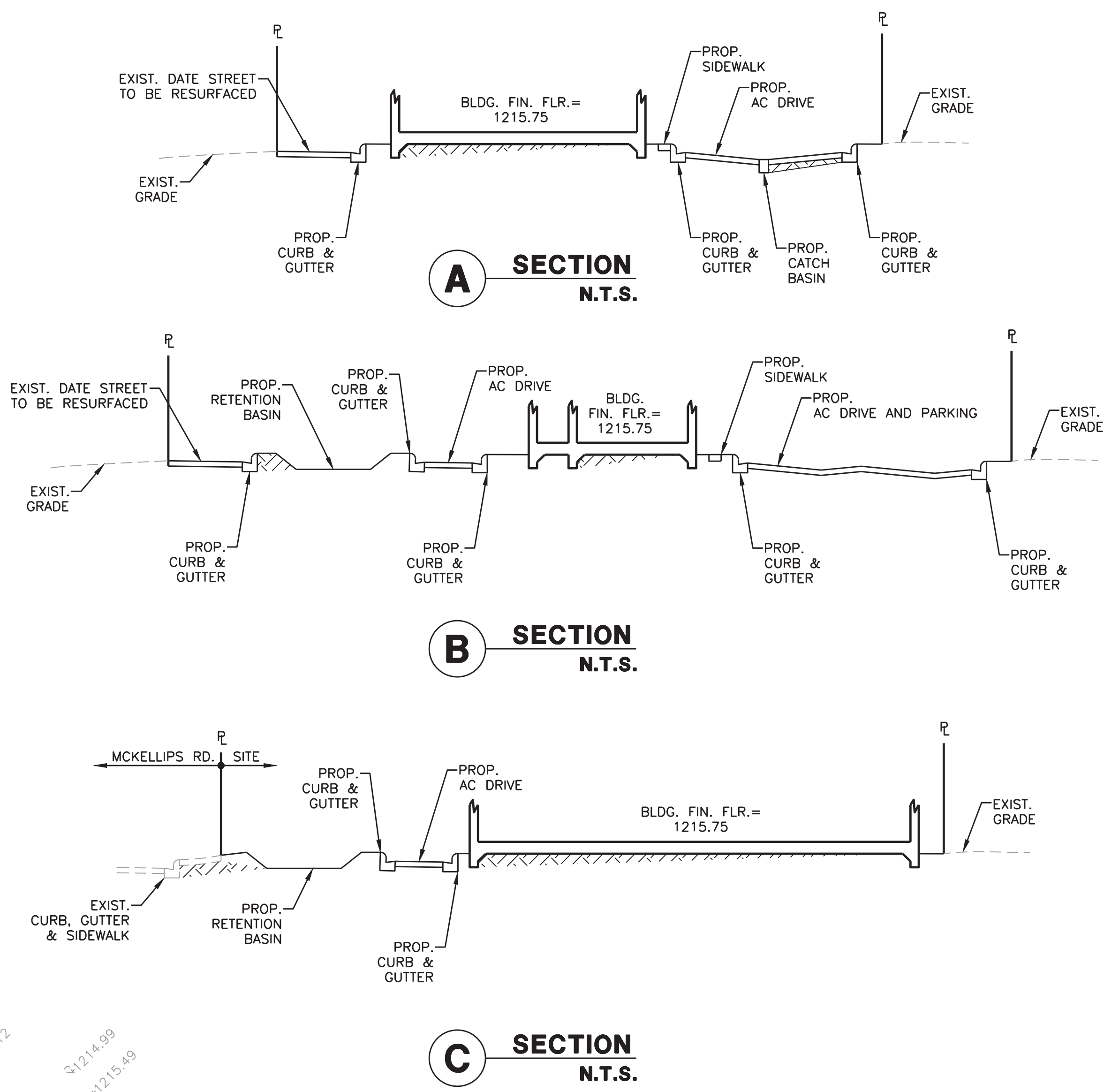
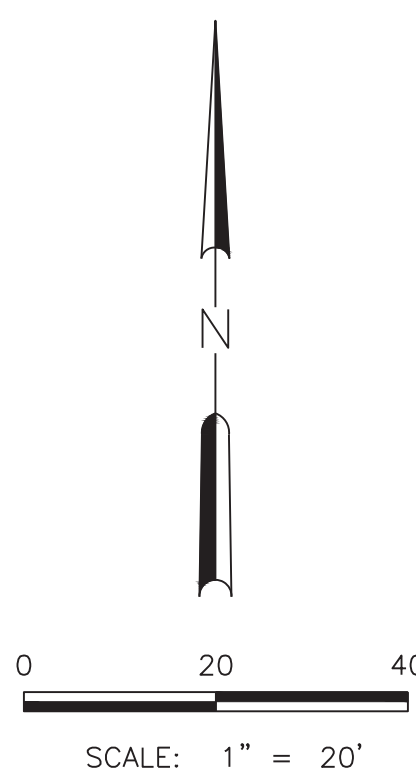
JOB NO. 103-01-18
 DESIGNED DCK
 DRAWN LAS
 COMP.
 CHECKED DCK
 DATE 09-20-2018

PG-1
 1 OF 2 SHEETS



**OUTDATED PLAN
 REVISED PLAN BASED ON NEW SITE LAYOUT WILL BE UPLOADED TO THE SITE ASAP**

**OUTDATED PLAN
 REVISED PLAN BASED ON NEW SITE LAYOUT WILL BE UPLOADED TO THE SITE ASAP**



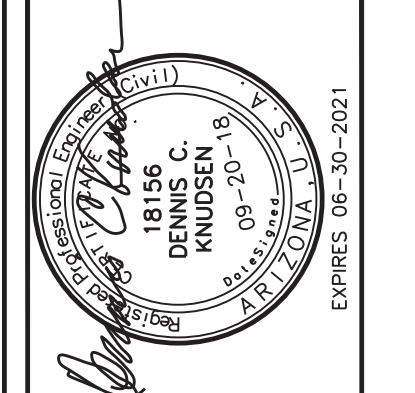
KEYED CONSTRUCTION NOTES: GRADING

- ① EXISTING DRIVEWAY TO REMAIN.
- ② EXISTING DRIVEWAY TO BE REMOVED.
- ③ AREA TO REMAIN UNDISTURBED AND TO DRAIN AS IT HAS HISTORICALLY.
- ④ CONSTRUCT CATCH BASIN PER M.A.G. STD. DET. 535, TYPE "F".
- ⑤ INSTALL 12" HDPE SMOOTH WALL DRAIN PIPE.
- ⑥ CONSTRUCT HEADWALL PER M.A.G. STD. DET. 501-1, "U" TYPE.
- ⑦ CONSTRUCT OVERFLOW/BUBBLER BOX DRAINAGE STRUCTURE.
- ⑧ INSTALL 12" HDPE EQUALIZER PIPE.
- ⑨ INSTALL PRE-CHAMBER OF MAXWELL "PLUS" DRYWELL SYSTEM.
- ⑩ INSTALL DRYWELL CHAMBER OF MAXWELL "PLUS" DRYWELL SYSTEM.
- ⑪ CONSTRUCT EARTHEN RETENTION BASIN:
 RETENTION BASIN (SURFACE)
 VOL. REQ.D = 10,763 CF
 VOL. PR. = 11,676 CF
 DEPTH H2O = 3.5'
 SIDE SLOPES = 4:1
- ⑫ MATCH NEW IMPROVEMENT/GRADE WITH EXISTING IMPROVEMENT/GRADE.
- ⑬ CONSTRUCT CURB OPENING FOR DRAINAGE.

KEYED CONSTRUCTION NOTES: UTILITIES

- ① INSTALL FIRELINE.
- ② INSTALL SEWERLINE.
- ③ INSTALL DOMESTIC WATERLINE.
- ④ CONNECT SEWERLINE TO EXISTING SEWER SERVICE LINE.
- ⑤ CONNECT DOMESTIC WATERLINE TO EXISTING WATER METER.

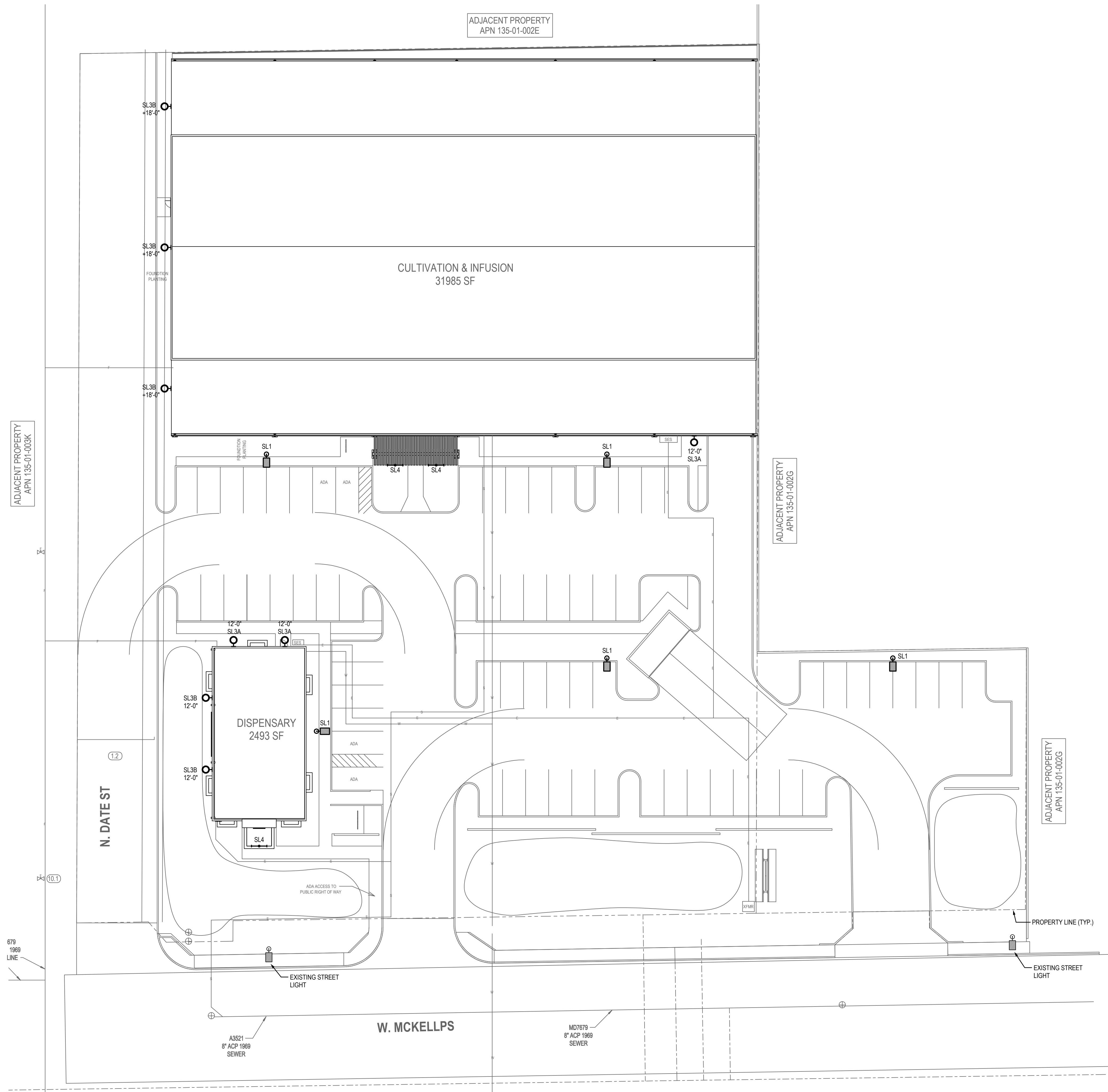
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 5715 East Estrid Circle
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**PRELIMINARY GRADING AND DRAINAGE PLAN
 PITCHFORK MESA FACILITY
 550 WEST MCKELLIPS ROAD
 MESA, ARIZONA 85201**

JOB NO. 103-01-18
 DESIGNED DCK
 DRAWN LAS
 COMP.
 CHECKED DCK
 DATE 09-20-2018
PG-2
 2 OF 2 SHEETS



ROCA VERDE DESIGN BUILD LLC
 1730 WEST SUNRISE BLVD
 GILBERT, ARIZONA 85233
 P - 480-267-5163 F - 480-632-7594



Mark D. Ralston



PITCHFORK MESA FACILITY

PROJECT ADDRESS
 550 W. MCKELLIPS RD.
 MESA, AZ 85201

REVISION HISTORY		
No	Description	Date

PRELIMINARY
 NOT FOR CONSTRUCTION

DESIGNED BY: MLL
 DRAWN BY: MLL
 APPROVED BY: MDR

12/03/2018

LIGHTING SITE PLAN

PAGE NUMBER
 E1.1

LSW Engineers
 ARIZONA INCORPORATED
 2333 West Northern Avenue Telephone 602.249.1320
 Phoenix, Arizona 85021 Facsimile 602.336.3276
 www.lswphx.com Project No. 2018-180.000
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1730 WEST SUNRISE BLVD
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P - 480-267-5163 F - 480-632-7594



Mark D. Ralston



PITCHFORK MESA FACILITY

PROJECT ADDRESS
550 W. MCKELLIPS RD.
MESA, AZ 85201

REVISION HISTORY

No	Description	Date

PRELIMINARY
NOT FOR CONSTRUCTION

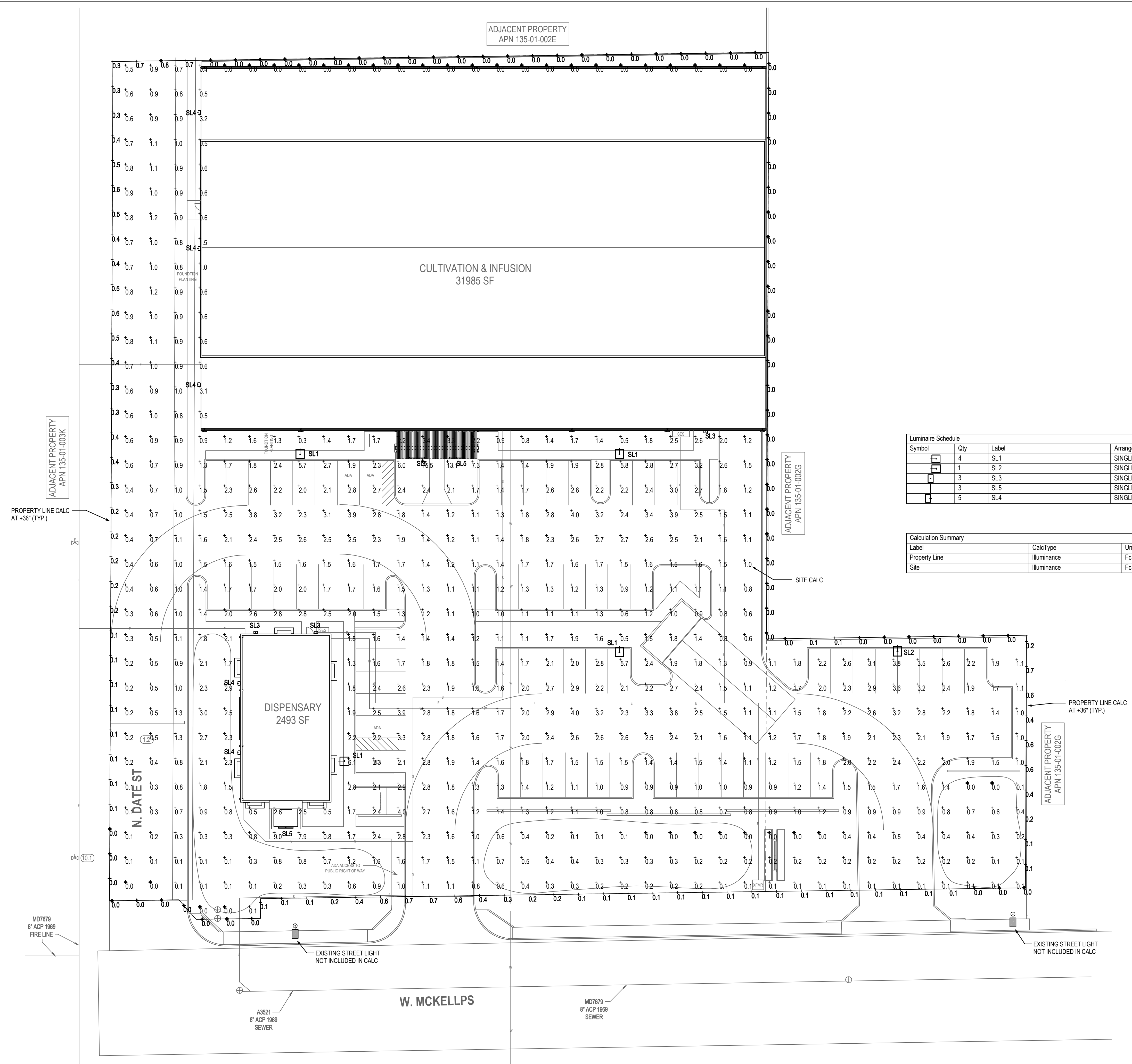
DESIGNED BY: MLL
DRAWN BY: MLL
APPROVED BY: MDR

12/03/2018

PHOTOMETRIC LIGHTING
SITE PLAN

PAGE NUMBER
E1.2

LSW Engineers
ARIZONA INCORPORATED
2333 West Northern Avenue Telephone 602.249.1320
Phoenix, Arizona 85021 Facsimile 602.336.3276
www.lswphx.com Project No. 2018-180.000
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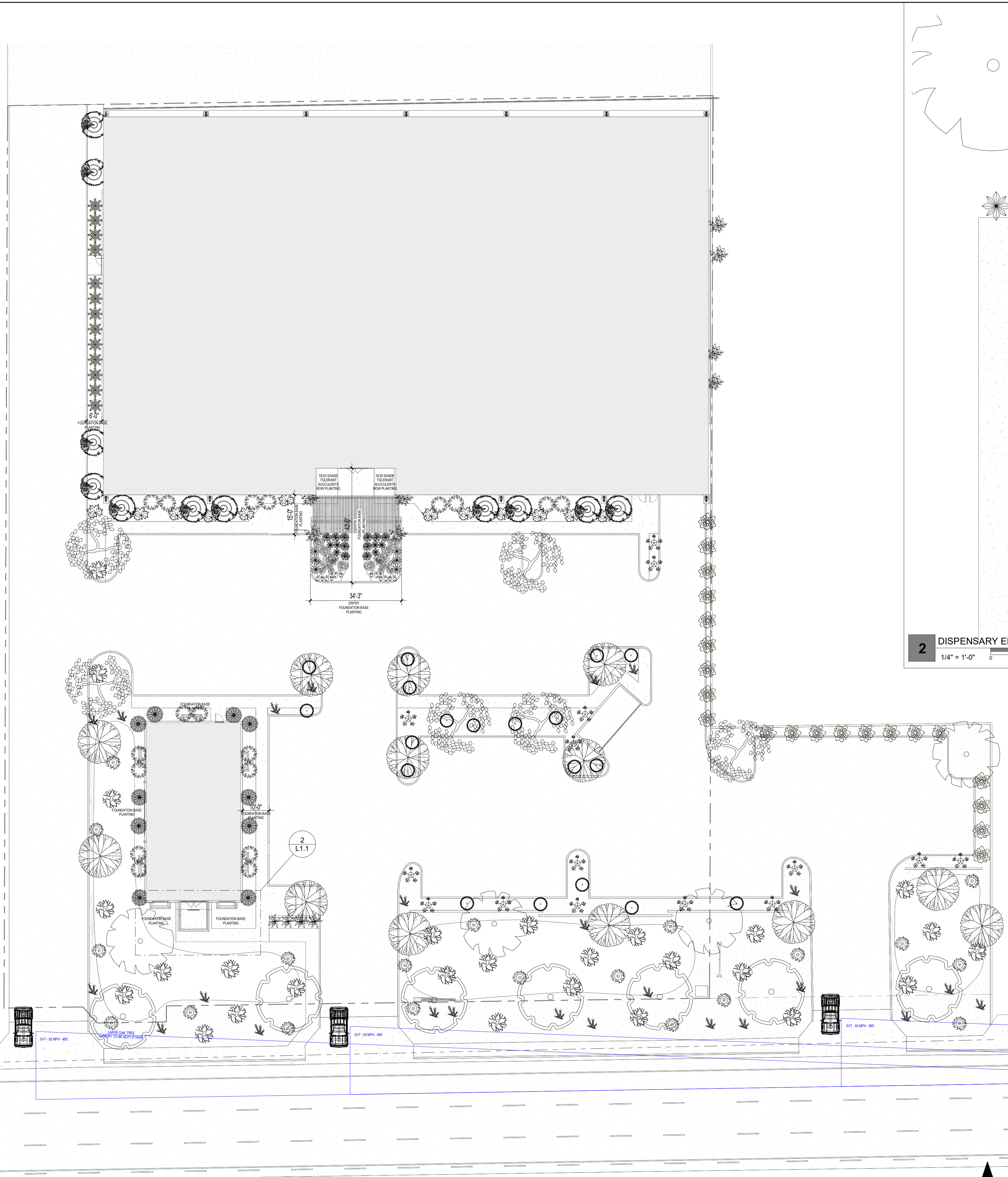


Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Lum. Lumens
[Symbol]	4	SL1	SINGLE	N.A.	1.000	VP-L-64L-135-4K7-4W	137.6	17317
[Symbol]	1	SL2	SINGLE	N.A.	1.000	VP-L-64L-135-4K7-4	130.874	14935
[Symbol]	3	SL3	SINGLE	N.A.	1.000	TRP1-12L15-4K7-3	13.9	1556
[Symbol]	3	SL5	SINGLE	N.A.	1.600	RN-D-2-5-4K8-SM-DL DIRECT (DOWN) ONLY SY	19	1708
[Symbol]	5	SL4	SINGLE	N.A.	1.000	TRP1-12L30-4K7-4	28.1	2789

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.15	0.8	0.0	N.A.	N.A.
Site	Illuminance	Fc	1.44	15.5	0.0	N.A.	N.A.



2 DISPENSARY ENTRY
 1/4" = 1'-0" 0 1/2 1 2 PAGE FORMAT: 24"x36"

1 LANDSCAPE PLAN
 1" = 20'-0" 0 1/2 1 2 PAGE FORMAT: 24"x36"

CITY OF MESA LANDSCAPE REQUIREMENTS CHECKLIST

- 1 TREE PER 25' AND 24 SHRUBS PER 100' IN RIGHT OF WAY WITHIN 30'
- 1 TREE PER 25' AND 16 SHRUBS PER 100' ALONG DATE ST WITHIN 30'
- 10% OF FOUNDATION BASE TREES SHALL BE AT LEAST 36" BOX
- 25% OF RIGHT OF WAY TREES SHALL BE AT LEAST 36" BOX
- NO MORE THAN 8 PARKING SPOTS WITHOUT AN 8' LANDSCAPE ISLAND
- 1 TREE AND 8 SHRUBS PER 8 PARKING SPACES
- 15' FOUNDATION BASE ALONG WALLS WITH PUBLIC ENTRY
- AT LEAST 900 SF AND 20' WIDE FOUNDATION PLANTING AT PUBLIC ENTRY
- 5' FOUNDATION BASE ALONG WALLS WITHOUT PUBLIC ENTRY
- 50% OF ALL SHRUBS SHALL BE AT LEAST 5 GALLON

TOTAL LANDSCAPE AREA	- 18452 SF
TOTAL TREES	- 52 EA
SF PER TREE	- 354 SF
TOTAL SHRUBS	- 271 EA
SF PER SHRUB	- 68 SF

GROUNDCOVER / VINES		TREES	
	LILAC VINE		TIPU TREE
	UPRIGHT ROSEMARY		LIVE OAK
	DAMIANITA DAISY		BRAZILIAN PEPPER TREE
	GOLDEN BARREL		OLEANDER TREE
	DESERT SPOON		TEXAS MOUNTAIN LAUREL
	STICKS ON FIRE		ITALIAN CYPRESS
	ICE PLANT	SHRUBS	
	PARTRIDGE BREAST ALOE		CHIHUAHUAN SAGE
	OCTOPUS AGAVE		TORCH GLOW
	RED YUCCA		BAJA RUELLIA
	SLIPPER PLANT		SEA GREEN JUNIPER
			FLATTOP BUCKWHEAT
			MEXICAN BIRD PARADISE

GROUNDCOVER / VINES	SIZE	QTY
HARDEBERGIA VIOLACEA	5 GAL	8
LILAC VINE	1 GAL	10
ROSMARINUS OFFICINALIS	1 GAL	10
UPRIGHT ROSEMARY	1 GAL	12
CHRYSACTINIA MEXICANA	1 GAL	12
DAMIANITA DAISY	1 GAL	12

SHRUBS	SIZE	QTY
RUELLIA PENINSULARIS	1 GAL	17
BAJA RUELLIA	1 GAL	17
BOUGAINVILLEA	1 GAL	13
TORCH GLOW	1 GAL	13
JUNIPERUS CHINENSIS	5 GAL	21
SEA GREEN JUNIPER	5 GAL	21
ERIOGONUM FASCICULATUM	1 GAL	25
FLATTOP BUCKWHEAT	1 GAL	25
LEUCOPHYLLUM LAEVIGATUM	5 GAL	16
CHIHUAHUAN SAGE	5 GAL	16
CAESALPINIA MEXICANA	15 GAL	2
MEXICAN BIRD OF PARADISE	15 GAL	2

CACTI / SUCCULENTS	SIZE	QTY
ECHINOCACTUS GRUSONII	5 GAL	17
GOLDEN BARREL	5 GAL	17
DESERT SPOON	5 GAL	23
LAMPRANTHUS SPECTABILIS	1 GAL	6
ICE PLANT	1 GAL	6
EUPHORBIA TIRUCALLI	5 GAL	6
STICKS ON FIRE	5 GAL	6
ALOЕ VARIEGATA	5 GAL	15
PARTRIDGE BREAST ALOE	5 GAL	15
AGAVE VILMORINANA	1 GAL	14
OCTOPUS AGAVE	1 GAL	14
HESPERALOE PARVIFLORA	1 GAL	22
RED YUCCA	1 GAL	22
PEDILANTHUS MACROCARPUS	5 GAL	8
SLIPPER PLANT	5 GAL	8

TREES	SIZE	QTY
TIPUANA TIPU	36" BOX	6
TIPU TREE	36" BOX	6
QUERCUS VIRGINIANA	36" BOX	7
LIVE OAK	36" BOX	7
SCHINUS TEREBINTHIFOLIUS	36" BOX	4
BRAZILIAN PEPPER TREE	36" BOX	4
NERIUM OLEANDER	24" BOX	11
OLEANDER TREE	24" BOX	11
SOPHORA SECUNDFLORA	24" BOX	11
TEXAS MOUNTAIN LAUREL	24" BOX	11
CUPRESSUS SEMPERVIRENS	15 GAL	13
ITALIAN CYPRESS	15 GAL	13

LANDSCAPE NOTES

- 1) 1/2" SCREENED GRANITE SHALL BE INSTALLED IN ALL LANDSCAPE AREAS. GRANITE SHALL BE BETWEEN 1/2" TO 1" LOWER THAN ADJACENT SIDEWALK. GRANITE SHALL BE AT LEAST 2" DEEP.
- 2) ALL AREAS SHALL BE MAINTAINED WEED-FREE AT ALL TIMES DURING CONSTRUCTION. DO NOT APPLY PRE-EMERGENT HERBICIDES AT LOCATIONS OF REVEGETATION SEEDING. THE CONTRACTOR SHALL MANUALLY REMOVE INVASIVE WEEDS WITHIN THESE AREAS.
- 3) INSTALL TREE SUPPORTS AS SHOWN ON THE DRAWING WITHIN 48 HOURS OF PLANTING. TREE SUPPORTS SHALL BE INSTALLED TO PREVENT RUBBING AND GIRDLING. YET ALLOW FOR TRUNK MOVEMENT. TREE TIES THAT ENIRCLE TRUNKS SHALL BE LARGE ENOUGH TO ALLOW FOR NORMAL GROWTH OF THE TRUNK DURING THE FIRST YEAR WITHOUT GIRDLING.
- 4) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE PLANT MATERIAL PER PLANS. PLAN VIEW QUANTITIES OVERRIDE TABLE QUANTITIES.
- 5) ALL PLANT MATERIAL SHALL BE BACKFILLED WITH A MIXTURE OF NATIVE SOIL AND SOIL AMENDMENTS APPROPRIATE FOR SPECIFIC PLANT SPECIES. LANDSCAPE CONTRACTOR TO SUBMIT SOIL AMENDMENT DETAILS FOR REVIEW.
- 5) GENERAL IRRIGATION PIPING
 - A. PRESSURE SUPPLY LINE (FROM POINT OF CONNECTION THROUGH BACKFLOW PREVENTION UNIT): TYPE K HARD COPPER.
 - B. PRESSURE SUPPLY LINES (DOWNSTREAM OF BACKFLOW PREVENTION UNITS): SCHEDULE 40 PVC BE (1" - 2 1/2"), CLASS 200 PVC GASKET END (3" & 4"), AND CLASS 160 PVC GASKET END (6" AND LARGER); ALL PRESSURE PIPING IN AREAS WITH NON-POTABLE WATER SHALL BE PURPLE IN COLOR.
 - C. NON-PRESSURE LINES: SCHEDULE 40 PVC BE.
 - D. DRIP TUBING: TORO BLUE STRIPE 1/2" POLYETHYLENE HOSE.
 - E. EMITTER TUBING: BY EMITTER MANUFACTURER.
 - F. SLEEVING: SCHEDULE 40 PVC PIPE.
- 6) PLANT MATERIAL SHALL BE A MINIMUM OF 7 FEET CLEAR OF ALL FIRE HYDRANTS. NO PLANT MATERIAL SHALL BE PLACED BETWEEN THE FIRE HYDRANT AND THE CURB.

ROCAVERDE
 ROCA VERDE DESIGN BUILD LLC
 1730 WEST SUNRISE BLVD
 GILBERT, ARIZONA 85233
 P - 480-267-5163 F - 480-632-7594

PITCHFORK

PITCHFORK MESA FACILITY

PROJECT ADDRESS
 550 W. MCKELLIPS RD.
 MESA, AZ 85201

REVISION HISTORY

No	Description	Date

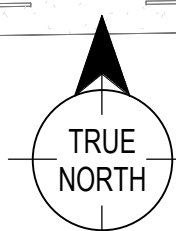
18996
 ERIC S. MILLER
 ENGINEER
 ARIZONA, U.S.A.
 EXPIRES 9/30/19
 PRELIMINARY
 NOT FOR CONSTRUCTION

DESIGNED BY: TL
 DRAWN BY: TL
 APPROVED BY: BB

12/4/2018 5:25:31 PM

LANDSCAPE PLAN

PAGE NUMBER
 L1.1



PITCHFORK



Pitchfork Partners, LLC
312 N. Alma School Rd., Suite 14-I
Chandler, AZ 85224
michael@mobconsultingaz.com
480-213-1402

Applicant: Pitchfork Partners, LLC

Project: 550 W. McKellips MMJ Facility (Case #DRB18-00853 & #ZON18-0854)

Title: Cover Letter for physical delivery of REVISED Color and Materials Board (delivered to City of Mesa P&Z on 12-4-18)

Date: December 4, 2018

To whom it may concern,

Enclosed please find the revised Color and Materials Board for the above referenced project. As required, this revised Color and Materials Board has also been digitally uploaded as part of our application to DIMES. Due to City of Mesa P&Z office hours, at the time of delivery of this package, we have not submitted our revised materials yet, but they will be submitted this evening. Our case numbers for this project are listed above.

Michael O'Brien, the CEO/Manager of Applicant, should be the primary point of contact for information related to this submittal. If you have any questions, require additional information, or would like to discuss any aspects of this submittal, Mr. O'Brien and/or representatives of both License Holder and Applicant would welcome the opportunity to meet with you.

Sincerely,

APPLICANT:

PITCHFORK PARTNERS, LLC, an Arizona limited liability company

A handwritten signature in black ink, appearing to read "Michael O'Brien", written over a horizontal line.

By: Michael O'Brien
Its: CEO/Manager

LICENSE HOLDER:

THE MEDICINE ROOM, LLC, an Arizona limited liability company

A handwritten signature in black ink, appearing to read "Hugo Dixon Oates", written over a horizontal line.

By: Hugo Dixon Oates
Its: Manager



SMOOTH FACE CMU



RUSTY STEEL ACCENT BEAMS

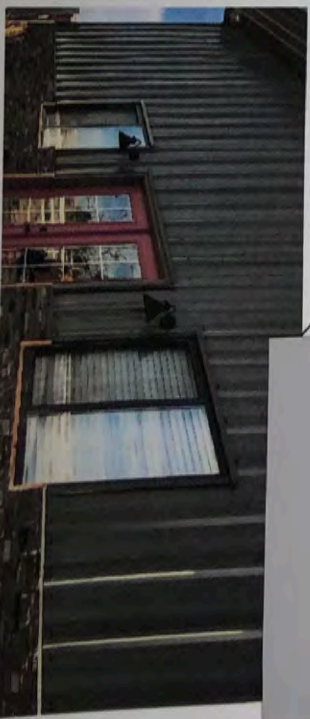


DISPENSARY BUILDING

SPLIT FACE CMU



FRONT FACADE SIDING
ASH GREY



Pitchfork 550
550 W. McKellips Rd
Mesa, Arizona 85201



RUSTY STEEL
FACADE/BEAMS



CULTIVATION BUILDING

PBR STEEL ROOF
SOLOR WHITE



STEEL SIDING
ASH GREY



SPLIT FACE CMU



Pitchfork 550
550 W. McKellips Rd
Mesa, Arizona 85201

